

BEAR CREEK WATER ASSOCIATION



P. O. Box 107
Canton, MS 39046

Phone: (601) 856-5069
Fax: (601) 856-8936

September 25, 2015

Scott Weeks
Madison County Planning and Zoning Administrator

RE: Proposed Callaway Lawn and Garden
Section 21, T8N, R2E
Madison County, Mississippi

Dear Scott:

Brint Callaway of Callaway Lawn and Garden requested some information concerning water and sewer service for his proposed parcel on the west side of Calhoun Station Parkway. We currently do not have water or sewer infrastructure adjacent to his parcel. However, we will extend it to serve his parcel according to our normal policies and procedures. Currently, we have already designed water and sewer plans for that area, and have submitted them to the Madison County Engineer, the Mississippi Department of Environmental Quality, and the Mississippi State Department of Health Division of Water Supply. Upon their approvals, we will notify the developer to deposit construction funds so we can install the water and sewer infrastructure. We expect approvals very soon. Our design as submitted included an 8" waterline on the northerly side of the Callaway site, and a 12" waterline along Calhoun Station Parkway. Our computerized hydraulic model of our water system shows that the waterlines will provide adequate fire flow capabilities. Our submitted design does show fire hydrants to be installed on the new 8" and 12" lines in order to fire protect the proposed businesses.

Please contact me if you need any additional information.

Sincerely,



Nolan P. Williamson, P.E.
General Manager



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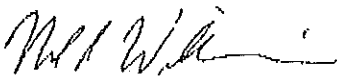
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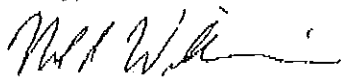
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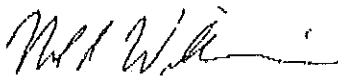
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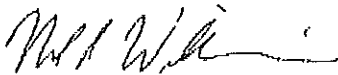
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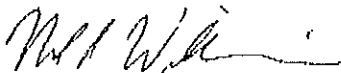
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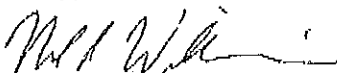
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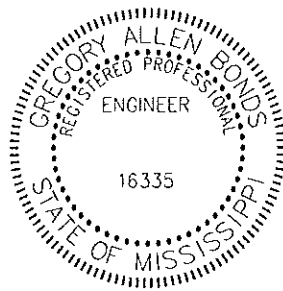
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General Manager

HYDRAULIC CALCULATIONS
FOR:

CALLAWAY'S GARDEN CENTER
Madison County, MS



BENCHMARK ENGINEERING & SURVEYING, LLC

101 Highpointe Court, Suite B, Brandon, MS 39042
Office 601-591-1077 Fax 601-591-0711
e-mail benchmark@benchmarkms.net

Culvert Report

Pipe 1 North Drive (Calhoun Station)

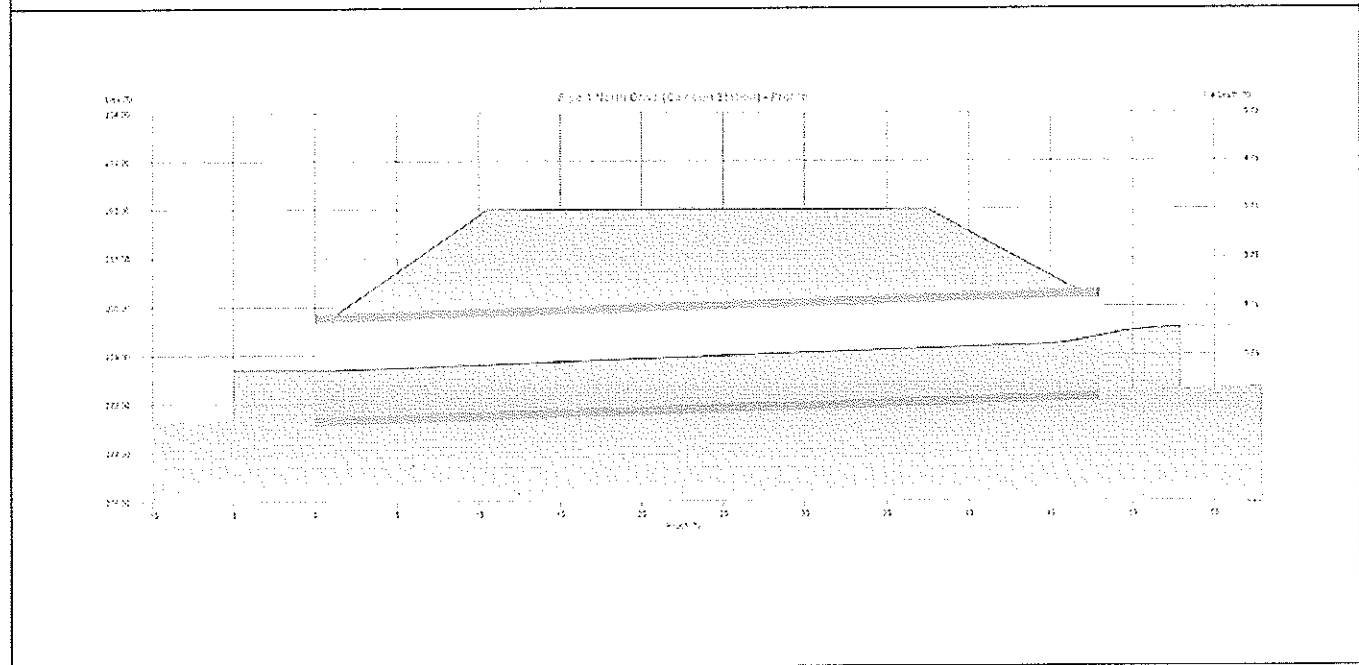
Culvert 1

CULVERT		EMBANKMENT	
Shape	= Elliptical	Top Width	= 27.00 ft
Inlet Edge	= Projecting	Top Elevation	= 282.00 ft
Material	= Concrete	Crest Length	= 40.00 ft
Manning's n	= 0.012	DISCHARGE	
Rise	= 23 in	Method	= Rational Method
Span	= 36 in	Drainage Area	= 9.32 ac
Invert Elev. Down	= 277.75 ft	Runoff Coefficient	= 0.60
Length	= 48.0 ft	Time of Concentration	= 20.4 min
Slope	= 0.010 ft/ft	TAILWATER	
Invert Elev. Up	= 278.25 ft	Tailwater Elevation	= Normal Depth
No. Barrels	= 2		
Plan Skew Angle	= 0 degrees		

CALCULATION SAMPLE, 1 - Year Event

Discharge			Velocity		Depth		Hydraulic Grade Line		
Total	Culvert	Over Top	Down	Up	Down	Up	Down	Up	Hw
(cfs)	(cfs)	(cfs)	(ft/s)	(ft/s)	(in)	(in)	(ft)	(ft)	(ft)
17.47	17.47	0.00	3.86	3.87	0.96	0.96	278.71	279.21	279.56

Notes: IDF Curves = Madison County.idf;



Culvert Report

Pipe 2 Middle Drive (Calhoun Station)

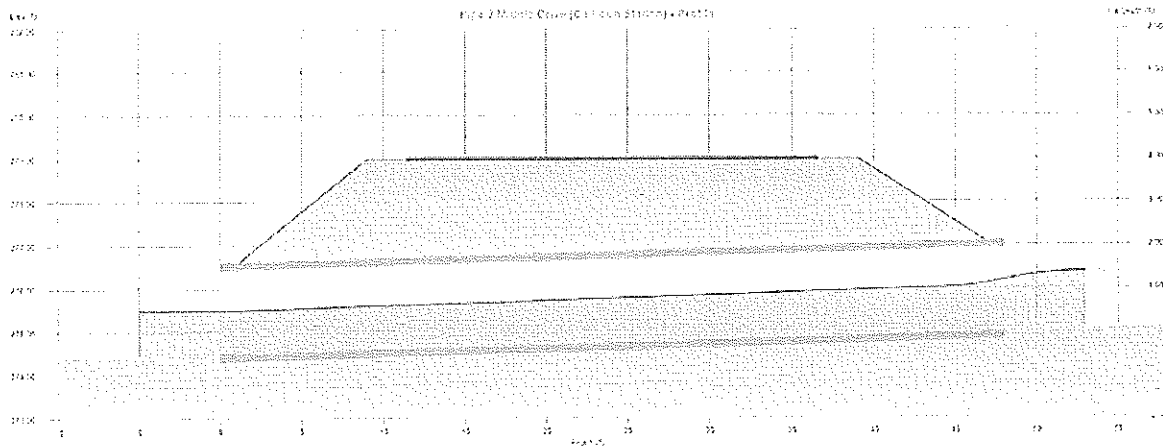
Culvert 2

CULVERT		EMBANKMENT	
Shape	= Elliptical	Top Width	= 30.00 ft
Inlet Edge	= Projecting	Top Elevation	= 279.00 ft
Material	= Concrete	Crest Length	= 40.00 ft
Manning's n	= 0.012	DISCHARGE	
Rise	= 23 in	Method	= Rational Method
Span	= 36 in	Drainage Area	= 10.78 ac
Invert Elev. Down	= 274.50 ft	Runoff Coefficient	= 0.60
Length	= 48.0 ft	Time of Concentration	= 22 min
Slope	= 0.010 ft/ft	TAILWATER	
Invert Elev. Up	= 275.00 ft	Tailwater Elevation	= Normal Depth
No. Barrels	= 2		
Plan Skew Angle	= 0 degrees		

CALCULATION SAMPLE, 1 - Year Event

Discharge			Velocity		Depth		Hydraulic Grade Line		
Total	Culvert	Over Top	Down	Up	Down	Up	Down	Up	Hw
(cfs)	(cfs)	(cfs)	(ft/s)	(ft/s)	(in)	(in)	(ft)	(ft)	(ft)
19.20	19.20	0.00	3.98	4.00	1.01	1.01	275.51	276.01	276.38

Notes: IDF Curves = Madison County idf;



Culvert Report

Pipe 3 Service Drive

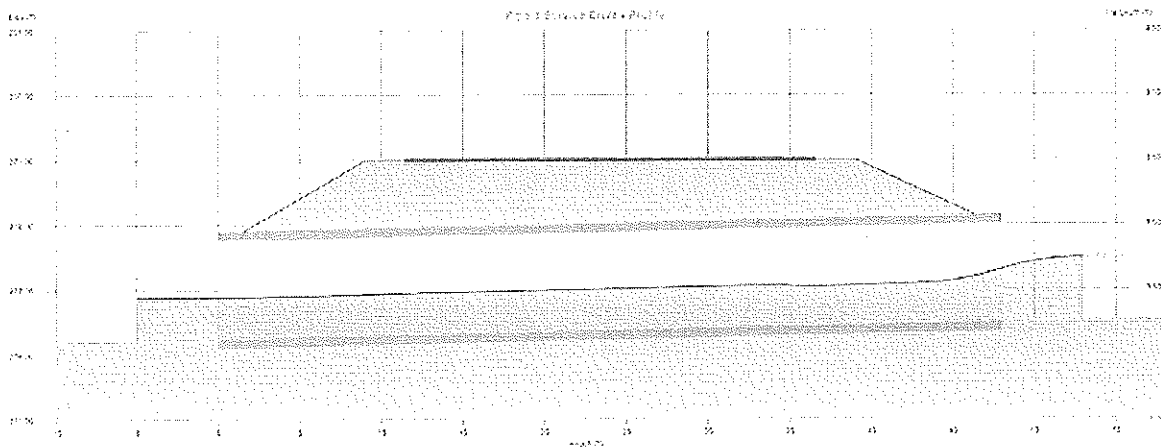
Culvert 3

CULVERT		EMBANKMENT	
Shape	= Circular	Top Width	= 30.00 ft
Inlet Edge	= Projecting	Top Elevation	= 279.00 ft
Material	= Concrete	Crest Length	= 30.00 ft
Manning's n	= 0.012	DISCHARGE	
Rise	= 18 in	Method	= Rational Method
Span	= 18 in	Drainage Area	= 1.28 ac
Invert Elev. Down	= 276.25 ft	Runoff Coefficient	= 0.60
Length	= 48.0 ft	Time of Concentration	= 14.83 min
Slope	= 0.005 ft/ft	TAILWATER	
Invert Elev. Up	= 276.50 ft	Tailwater Elevation	= Normal Depth
No. Barrels	= 1		
Plan Skew Angle	= 0 degrees		

CALCULATION SAMPLE, 1 - Year Event

Discharge			Velocity		Depth		Hydraulic Grade Line		
Total	Culvert	Over Top	Down	Up	Down	Up	Down	Up	Hw
(cfs)	(cfs)	(cfs)	(ft/s)	(ft/s)	(in)	(in)	(ft)	(ft)	(ft)
2.78	2.78	0.00	3.89	3.86	0.64	0.64	276.89	277.14	277.49

Notes: IDF Curves = Madison County Idf;



Culvert Report

Pipe 4 South Drive (Calhoun Station)

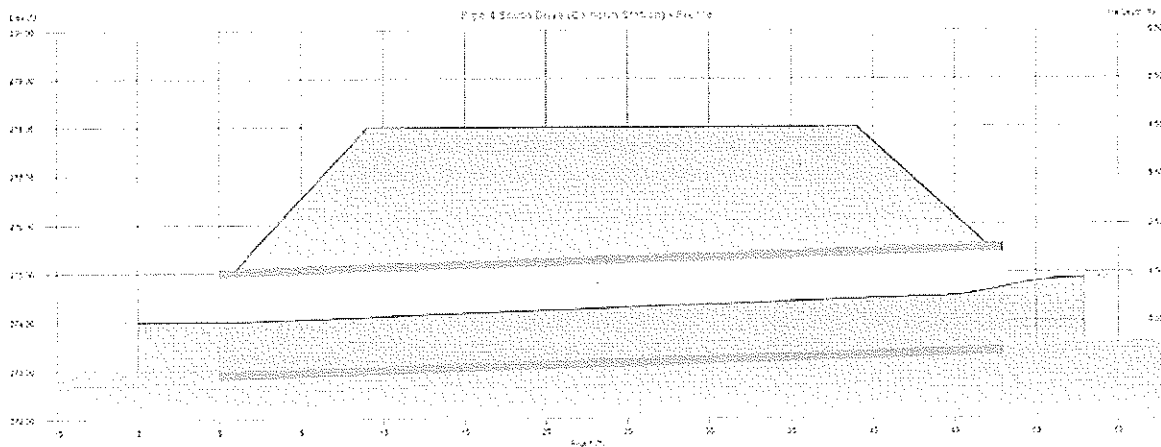
Culvert 4

CULVERT		EMBANKMENT	
Shape	= Elliptical	Top Width	= 30.00 ft
Inlet Edge	= Projecting	Top Elevation	= 278.00 ft
Material	= Concrete	Crest Length	= 40.00 ft
Manning's n	= 0.012	DISCHARGE	
Rise	= 23 in	Method	= Rational Method
Span	= 36 in	Drainage Area	= 10.96 ac
Invert Elev. Down	= 273.00 ft	Runoff Coefficient	= 0.60
Length	= 48.0 ft	Time of Concentration	= 22 min
Slope	= 0.010 ft/ft	TAILWATER	
Invert Elev. Up	= 273.50 ft	Tailwater Elevation	= Normal Depth
No. Barrels	= 2		
Plan Skew Angle	= 0 degrees		

CALCULATION SAMPLE, 1 - Year Event

Discharge			Velocity		Depth		Hydraulic Grade Line		
Total	Culvert	Over Top	Down	Up	Down	Up	Down	Up	Hw
(cfs)	(cfs)	(cfs)	(ft/s)	(ft/s)	(in)	(in)	(ft)	(ft)	(ft)
19.52	19.52	0.00	4.00	4.03	1.01	1.01	274.01	274.51	274.89

Notes: IDF Curves = Madison County;idf;



DRAINAGE BASIN CALCULATIONS

PROJECT: CALLAWAYS
 COUNTY: MADISON

Coefficients and Formulas used:

$$t_c = (10 \times (H_L)^{37}) / ((17.32 \times S^{21}))$$

$$C = C \times I \times A$$

$$I_{25} = 85.567 / (t_c + 13.25)^{0.812}$$

$$I_{100} = 112.827 / (t_c + 14.5)^{0.822}$$

Pre	0.50
Crushed Limestone	0.60
Impervious Surfaces	0.95

D.B.	D.A.(sf)	D.A.(ac)	H _L (ft)	S (%)	C	t _c (min) ²⁵	I ₁₀₀ (in/hr)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
Pre-Development										
DB-1	172879	3.97	401	2.24	0.50	18.81	5.12	6.32	10.16	12.55
Post-Development										
DB-1	144983	3.33	401	2.24	0.63	12.99	6.03	7.40	12.65	15.54
DB-2 (To Road Ditch)	27896	0.64	467	1.50	0.54	19.21	5.07	6.26	1.76	2.17
D.B.										
		Total D.A. (ac)	Crushed Limestone	Impervious	Grass Area (ac)	Weighted Coeff.				
Post-Development		3.33	1.30	0.68	1.35	0.63				
DB-1	144983	0.64	0.27	0.00	0.37	0.54				
DB-2 (To Road Ditch)	27896									
Total Storage Required (TSR)										
			(Q _{post} -Q _{pre}) / (t _{c post} - t _{c pre}) (60s/min) =	2334	Storage Required (Cu. Ft.) Including Offsite					
TSR DB1			(Q _{post} -Q _{pre}) / (t _{c post} - t _{c pre}) (60s/min) =	2505	Storage Required (Cu. Ft.)					
TSR DB2										
NOTE:										
DETENTION PROVIDED FOR ENTIRE SITE WITH EXISTING POND THAT WAS CONSTRUCTED BY OTHERS. WE FORCE A SMALL AMOUNT OF WATER TO ROADSIDE DITCH INSTEAD OF POND BUT FEEL THAT THIS AMOUNT IS NEGLIGIBLE DUE TO THE SMALL INCREASE AND SMALL REQUIRED STORAGE VOLUME IN ADDITION TO A LARGE PORTION OF OUR SITE BEING PERVIOUS.										

Submit only upon request from MDEQ

Part X.



SMALL CONSTRUCTION NOTICE OF INTENT (SCNOI)

GENERAL NPDES PERMIT MSR15 _____ (Number to be assigned by MDEQ if submitted)

Prior to the commencement of small construction activity (see Small Construction General Permit Part I. B.), the owner or operator of a small construction project must complete this form and develop a Storm Water Pollution Prevention Plan (SWPPP) as required by Part III of Mississippi's Small Construction General Permit. This SCNOI and SWPPP shall be submitted to the Mississippi Department of Environmental Quality (MDEQ) only upon request from MDEQ; however, the SCNOI and SWPPP must be maintained at the permitted site or locally available in case inspector review is necessary. Attachments with this SCNOI must include: a USGS quad map or copy showing site location (only if required to be submitted to MDEQ) and a Storm Water Pollution Prevention Plan (SWPPP). All questions must be answered – answer "NA" if the question is not applicable.

PROJECT INFORMATION

OWNER CONTACT PERSON: Brint Callaway	OPERATOR (if different from owner) CONTACT PERSON: Richard Elarton
OWNER COMPANY NAME: Callaway's Yard and Garden	OPERATOR COMPANY: Peoples Construction Corp
OWNER STREET (P.O. BOX): 839 S Pear Orchard Rd	OPERATOR STREET (P.O. BOX): 3913 Underwood Dr.
OWNER CITY: Ridgeland	OPERATOR CITY: Flowood
STATE: MS ZIP: 39157	STATE: MS ZIP: 39232
OWNER PHONE # (INCLUDE AREA CODE): 601-957-1721	OPERATOR PHONE # (INCLUDE AREA CODE): 601-932-1111

PROJECT NAME: Callaway's Yard and Garden - Gluckstadt

DESCRIPTION OF CONSTRUCTION ACTIVITY:
7500 sf facility for new Callaways Yard and Garden Center in Gluckstadt on Calhoun Pkwy

ACREAGE DISTURBED (to be covered by this permit must be less than five (5) acres): 4.8

PHYSICAL SITE ADDRESS (IF NOT AVAILABLE INDICATE THE NEAREST NAMED ROAD):

STREET: Calhoun Parkway

CITY: Gluckstadt **COUNTY:** Madison

ZIP: 39110

NEAREST NAMED RECEIVING STREAM: Bear Creek

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Signature ¹	Date Signed
Richard Elarton	Project Manager
Printed Name	Title

¹This application shall be signed according to the Small Construction General Permit, Part V. E.

If requested, mail to: Chief, Environmental Permits Division; Mississippi Department of Environmental Quality
P.O. Box 10385; Jackson, MS, 39289-0385

State of Mississippi
Mississippi Department of
Environmental Quality (MDEQ)
Office of Pollution Control (OPC)
Water Pollution Control
STORM WATER
SMALL CONSTRUCTION GENERAL PERMIT

THIS CERTIFIES THAT

**SMALL CONSTRUCTION PROJECTS (EQUAL TO OR GREATER THAN ONE
ACRE AND LESS THAN FIVE ACRES) ARE GRANTED PERMISSION TO
DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY
UNDER THE TERMS AND CONDITIONS OF THIS PERMIT**

INTO

WATERS OF THE STATE OF MISSISSIPPI

in accordance with effluent limitations, inspection requirements and other conditions set forth in Parts I through VII hereof. This permit is issued in accordance with the provisions of the Mississippi Water Pollution Control Law (Section 49-17-1 et seq., Mississippi Code of 1972), and the regulations and standards adopted and promulgated thereunder, and under authority granted pursuant to Section 402(b) of the Federal Water Pollution Control Act.

MISSISSIPPI ENVIRONMENTAL QUALITY PERMIT BOARD

AUTHORIZED SIGNATURE

MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY

Permit Issued: March 11, 2003
Permit Expires: February 29, 2008

Permit No. MSR15

**STORM WATER SMALL CONSTRUCTION
GENERAL NPDES PERMIT**

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Part I. Permit Applicability and Authorization

- A. **Permit Area.** The permit covers all areas of the State of Mississippi.
- B. **Covered Discharges.** Discharges composed entirely of storm water from small construction activities, except as noted in Part 1. E., including clearing, grading, excavating and other land disturbing activities equal to or greater than one (1) acre and less than five (5) acres.¹ These discharges are automatically designated as small construction activities under the National Pollutant Discharge Elimination System (NPDES) storm water program and are automatically covered under this permit. Small construction activities disturbing less than one (1) acre are designated if:
- The project is part of a larger common plan of development or sale with a cumulative planned disturbance of equal to or greater than one (1) acre and less than five (5) acres (for example, individual or commercial lots that are part of a subdivision or a commercial development that initially impacts less than one (1) acre but will ultimately exceed the one (1) acre threshold²), or
 - The Executive Director of the Mississippi Department of Environmental Quality (MDEQ) designates the construction activity based on the potential for contribution to a violation of a water quality standard or for significant contribution of pollutants to waters of the State.
- Small construction activity does not include routine maintenance that is performed to maintain the original line and grade, hydraulic capacity, and original purpose of the facility (for example, existing ditches, channels, or other similar storm water conveyances, as well as routine grading of existing dirt roads, asphalt overlays of existing roads, and other similar maintenance activities).
- C. **Obtaining Authorization.** Owners or operators are authorized to discharge storm water associated with small construction activity under the terms and conditions of this permit upon commencement of small construction land disturbing activities (i.e., Construction may begin after development of the required Storm Water Pollution Prevention Plan (SWPPP) and the completion of the Small Construction Notice of Intent (SCNOI)).
- D. **On-going Construction Activities.** Projects that are on-going as of March 10, 2003 and are equal to or greater than one (1) acre and less than five (5) and do not have coverage under Construction General Permit MSR10 must obtain coverage by complying with the terms and conditions of this permit.
- E. **Allowable Non-Storm Water Discharges.** Owner or operators are authorized for the following non-storm water discharges. Except for flows from fire fighting activities, sources of non-storm water below that are combined with storm water discharges associated with construction activity must be identified in the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP must identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.
- Discharges from fire-fighting activities
 - Fire hydrant flushings
 - Waters used to wash vehicles where detergents are not used
 - Water used to control dust
 - Potable water sources including water line flushings
 - Routine external building wash down that does not use detergents
 - Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used
 - Uncontaminated air conditioning or compressor condensate
 - Uncontaminated ground water or spring water
 - Foundation or footing drains where flows are not contaminated with process materials such as solvents

¹This includes the total area disturbed over the course of the project. For home sites - a minimum of 10,000 ft² per home site or the entire lot, if smaller, shall be included.

²For subdivision development, if the total acreage disturbed for the entire development is 5 acres or greater then all lots are covered by Mississippi's Storm Water Construction General Permit for construction activity over 5 acres (Large Construction).

F. **Responsibility for Permit Compliance.** The owner(s) of the property and any operator(s) associated with small construction activity on the property shall have joint and several responsibility for compliance with this permit.

G. **This Permit Does Not Authorize:**

- **Discharges of hazardous substances or oil.** This permit does not authorize the discharge of hazardous substances or oil resulting from an on-site spill.
- **Post Construction Discharges.** This permit does not authorize storm water discharges that originate from the site after construction activities have been completed and the site has undergone final stabilization.
- **Discharges Covered by Another Permit.** This permit does not authorize storm water discharges associated with construction activity that have been covered under an individual permit in accordance with Part I. H. of this permit.
- **Discharges Threatening Water Quality.** This permit does not authorize storm water discharges from construction sites that the Executive Director determines will cause, or have reasonable potential to cause or contribute to, violations of water quality standards. Where such determinations have been made, the Mississippi Environmental Quality Permit Board (Permit Board) may notify the owner or operator that an individual permit application is necessary in accordance with Part I. H. of this permit. However, the Permit Board may authorize coverage under this permit after appropriate controls and implementation procedures designed to bring the discharges into compliance with water quality standards have been included in the Storm Water Pollution Prevention Plan.
- **Discharges to Impaired Receiving Waters.** The SWPPP must specifically identify Best Management Practices (BMPs) which ensure storm water will not cause or contribute to non-attainment of a water quality standard. In cases where the Permit Board becomes aware of potential impairment due to small construction activities, the Permit Board may require the submittal of the SWPPP in order to ascertain whether the selected BMPs are sufficient to comply with requirements of this permit or any other requirements of the Permit Board. The list of impaired receiving waters may be found on the MDEQ web site at www.deq.state.ms.us or by calling 601-961-5171.

H. **Requiring an Individual Permit**

Upon notification of a small construction project, the Permit Board may require an alternate permit. The Permit Board may require any owner or operator of land disturbing activities of equal to or greater than one (1) acre and less than five (5) acres to apply for and obtain an individual NPDES permit. Any interested person may petition the Permit Board to take action under this paragraph. The Permit Board may require any small construction owner or operator to apply for an individual NPDES permit only if the owner or operator has been notified in writing. This notice shall include reasons for this decision, an application form and a filing deadline. The Permit Board may grant additional time upon request.

Part II. Small Construction Notice of Intent (SCNOI)

A. **Small Construction Notice of Intent (SCNOI).** Prior to the commencement of small construction activity, the owner or operator must complete a Small Construction Notice of Intent (SCNOI). The SCNOI and SWPPP described in Part III shall be submitted to the Mississippi Department of Environmental Quality (MDEQ) only upon request from MDEQ; however, the SCNOI and SWPPP must be maintained at the permitted site or locally available in case inspector review is necessary. Failure to complete a SCNOI prior to the commencement of construction activity or to submit a SCNOI when requested is a violation of State regulations. The SCNOI shall be retained by the owner or operator as required by Part IV. E. of this permit. Attachments to the SCNOI must include: a U.S. Geological Survey quadrangle map or copy (only if required to be submitted to MDEQ) showing site location and a Storm Water Pollution Prevention Plan (SWPPP).

- B. Where to Submit the Small Construction Notice of Intent, if Requested. Complete and appropriately signed SCNOI forms must be submitted to:

Chief, Environmental Permits Division
MS Dept of Environmental Quality, Office of Pollution Control
P.O. Box 10385
Jackson, Mississippi 39289-0385

Part III. Storm Water Pollution Prevention Plan (SWPPP)

- A. **SWPPP Development.** A SWPPP shall be developed and implemented by the owner or operator of a small construction project. The SWPPP must include a description of appropriate control measures (i.e., BMPs) that will be implemented as part of the construction activity to control pollutants in storm water discharges.
1. The SWPPP shall be retained at the permitted site or locally available. A copy of the SWPPP must be made available to the MDEQ inspectors for review at the time of an on-site inspection.
 2. BMPs shall be in place upon commencement of construction.
 3. The Executive Director of MDEQ may notify the owner or operator at any time that the SWPPP does not meet the minimum requirements of this permit. After notification, the owner or operator shall amend the SWPPP, implement the changes and certify in writing to the Executive Director that the requested changes have been made. Unless otherwise provided by the Executive Director, the requested changes shall be made within 15 days.
 4. The owner or operator shall amend the SWPPP and implement the changes before there is a change in construction, operation, or maintenance, which may potentially effect the discharge of pollutants to State waters.
 5. The owner or operator shall amend the SWPPP and implement the changes if the SWPPP proves to be ineffective in controlling storm water pollutants including, but not limited to, significant sediment leaving the site and non-functioning BMPs.
- B. **Compliance with Local Storm Water Ordinances.**
1. In addition to the requirements of this permit, the SWPPP shall be in compliance with all local storm water ordinances and shall provide a brief description of applicable local erosion and sediment controls and post-construction BMPs.
 2. When storm water discharges into a municipal storm sewer system, the owner or operator must make the SWPPP available to the municipal authority upon request.
- C. **SWPPP Details.**
1. **Owner or Operator.** The SWPPP shall identify the "owner or operator" as defined in Part VII. of this permit. The operator's name, complete mailing address and telephone number(s) shall be identified on the plan.
 2. **Erosion and Sediment Controls.** The owner or operator shall list and describe controls appropriate for the construction activities and the procedures for implementing such controls. Controls shall be designed to retain sediment onsite and should:
 - Divert upslope water around disturbed areas
 - Limit exposure of disturbed areas to the shortest time possible
 - Disturb the smallest area possible
 - Preserve existing vegetation where possible, especially trees
 - Preserve vegetated buffer zones around any creek, drain, lake, pond or wetland
 - Slow rainfall runoff velocities to prevent erosive flows

- Avoid disturbing sensitive areas such as:
 - Steep and/or unstable slopes
 - Land upslope of surface waters
 - Areas with erodible soils
 - Existing drainage channels
- Transport runoff down steep slopes through lined channels or piping
- Minimize the amount of cut and fill
- Re-vegetate disturbed areas as soon as possible
- Implement best management practices to mitigate adverse impacts from storm water runoff; and
- Remove sediment from storm water before it leaves the site by allowing runoff to pond in controlled areas to drop out sediment
- Filter runoff by using natural vegetation, brush barriers, silt fences, hay bales, etc.

At a minimum, the controls must be in accordance with the standards set forth in "Planning and Design Manual for the Control of Erosion, Sediment & Stormwater," or other recognized manual of design as appropriate for Mississippi. The planning and design manual can be obtained by calling 601/961-5171 or may be found electronically at Mississippi State's educational web site at <http://abe.msstate.edu/csd/p-dm/>. In addition, Mississippi's "Storm Water Pollution Prevention Plan (SWPPP) Guidance Manual for Construction Activities" is available by calling 601/961-5171 or on the MDEQ website at www.deq.state.ms.us. The erosion and sediment controls shall address the following minimum components.

- a. Vegetative practices shall be designed to preserve existing vegetation where possible and re-vegetate disturbed areas as soon as practicable after grading or construction. Such practices may include surface roughening, temporary seeding, permanent seeding, mulching, sod stabilization, vegetative buffer strips, and protection of trees.
 - b. Structural practices shall divert flows from exposed soils, store flows or otherwise limit runoff from exposed areas. Such practices may include construction entrance/exit, straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drains, pipe slope drains, level spreaders, drain inlet protection, outlet protection, detention/retention basins, sediment traps, temporary sediment basins or equivalent sediment controls.
 - c. Post construction control measures shall be installed to control pollutants in storm water after construction is complete. These controls include, but are not limited to on-site infiltration of runoff, flow attenuation using open vegetated swales, exfiltration trenches and natural depressions, constructed wetlands and retention/detention structures. Where needed, velocity dissipation devices shall be placed at detention or retention pond outfalls and along the outfall channel to provide a non-erosive flow.
3. **Non-Storm Water Discharges.** Except for flows from fire fighting activities, sources of non-storm water listed in Part I. E. of this permit that are combined with storm water discharges associated with construction activity must be identified in the SWPPP. The SWPPP must identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.
 4. **Housekeeping Practices.** The owner or operator shall describe and list practices appropriate to prevent pollutants from entering storm water from construction sites due to poor housekeeping. The owner or operator shall:
 - designate areas for equipment maintenance and repair and concrete chute wash off;
 - provide waste receptacles at convenient locations;
 - provide regular collection of waste;
 - provide protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials;
 - provide adequately maintained sanitary facilities; and
 - provide secondary containment around on-site fuel tanks.

Releases into the environment of hazardous substances, oil, and pollutants or contaminants, which pose a threat to applicable water quality standards or causes a film, sheen or discoloration of State waters, shall be reported to the:

- Mississippi Emergency Management Agency (601) 352-9100
- National Response Center 1-800-424-8802

5. **Prepare Scaled Site Map.** The owner or operator shall prepare a scaled site map showing total area of the site, original and proposed contours (if practicable), direction of flow of storm water runoff, adjacent receiving water bodies, north arrow, all erosion & sediment controls (vegetative and structural), post construction control measures as described in Part III. C. 2. of this permit, and an estimate of the pre and post construction runoff coefficients of the site (see runoff coefficients in Part VII.) and the increase in impervious area.
6. **Implementation Sequence.** The owner or operator shall prepare an orderly listing which coordinates the timing of all major land-disturbing activities together with the necessary erosion and sedimentation control measures planned for the project.

Part IV. Limitations and Requirements

A. Non-Numeric Limitations.

Storm water discharges shall be free from:

1. debris, oil, scum, and other floating materials other than in trace amounts
2. eroded soils and other materials that will settle to form objectionable deposits in receiving waters
3. suspended solids, turbidity and color at levels inconsistent with the receiving waters
4. chemicals in concentrations that would cause violation of State Water Quality Criteria in the receiving waters

B. Implementation Requirements.

The owner or operator shall:

1. implement the SWPPP as required;
2. install downslope and perimeter controls before any major land disturbing activities;
3. install needed erosion controls even if they may be located in the way of subsequent activities, such as utility installation, grading or construction. It shall not be an acceptable defense that controls were not installed because subsequent activities would require their replacement or cause their destruction;
4. implement controls as needed to prevent erosion and adverse impacts to receiving streams and shall install additional and/or alternative erosion and sediment controls when existing controls prove to be ineffective in preventing sediment from leaving the site;
5. maintain all erosion and sediment controls. As a minimum accumulated sediment shall be removed from controls when it reaches 1/3 to 1/2 the height of the control and properly disposed. Non-functioning controls shall be repaired, replaced or supplemented with functional controls within 24 hours of discovery or as soon as field conditions allow;
6. implement the appropriate temporary or permanent vegetative practices within seven calendar days when a disturbed area will be left undisturbed for thirty days or more;
7. minimize off-site vehicle tracking of sediments;

8. remove any off-site accumulations of sediment at a frequency sufficient to minimize offsite impacts (e.g., fugitive sediment in street could be washed into storm sewers by the next rain and/or pose a safety hazard to users of public streets); and
 9. comply with applicable State or local waste disposal, sanitary sewer or septic system regulations.
- C. **Inspection Requirements.** Inspection of all erosion controls and other SWPPP requirements shall be performed during land disturbing activities. Inspections shall be performed:
1. at least once a week;
 2. within 24 hours of the end of a storm event of a half-inch or greater;
 3. as often as is necessary to ensure that appropriate erosion and sediment controls have been properly constructed and maintained and determine if additional or alternative control measures are required.
- D. **Documentation of Inspections.** All inspections required by Part IV. C. of this permit must be documented and certified according to Part V. H. of this permit (see Part IX Inspection Form). Documentation must include the day and time the inspection was performed, who performed the inspection, any deficiencies noted, and corrective action needed. Documentation of all inspections must be kept with the SWPPP. Inspections must continue until such time that planned construction activities have been completed, land disturbing activities have ceased and disturbed areas have been stabilized with no significant erosion occurring.
- E. **Retention of Records.** All records, reports and information resulting from activities required by this permit shall be retained by the owner or operator, on-site if practicable, for a period of at least three years from the date construction was completed.
- F. **Noncompliance Reporting.**
1. **Anticipated Noncompliance.** The owner or operator shall give at least 10 days advance notice, if possible, before any planned noncompliance with permit requirements. Giving notice of planned or anticipated noncompliance does not immunize the owner or operator from enforcement for that noncompliance.
 2. **Unanticipated Noncompliance.** The owner or operator shall notify the MDEQ orally within 24 hours from the time he or she becomes aware of unanticipated noncompliance. A written report shall be provided to the MDEQ within 5 working days of the time he or she becomes aware of the circumstances. The report shall describe the cause, the exact dates and times, steps taken or planned to reduce, eliminate, or prevent reoccurrence and, if the noncompliance has not ceased, the anticipated time for correction.
- G. **Termination of Permit Requirements.**
1. If a SCNOI has not been requested by the Permit Board (SCNOI not submitted to MDEQ). Upon successful completion of all permanent erosion and sediment controls, inspections and reporting requirements are no longer required. The owner or operator must record the date of completion of all permanent erosion and sediment controls on the final inspection report.
 2. If a SCNOI has been requested by the Permit Board (SCNOI submitted to MDEQ). Upon successful completion of all permanent erosion and sediment controls for a small construction project a written notification of such shall be submitted to the MDEQ. All inspection forms described in Part IV. D. of this permit and provided in Part IX of this permit must be attached. Coverage is not terminated until done so in writing by the MDEQ.

Part V. Other Permit Conditions

- A. **Duty to Comply.** Any permit noncompliance constitutes a violation of the Mississippi Air and Water Pollution Control Law and is grounds for enforcement action or requiring permit application in accordance with Part I. H. of this permit. It shall not be a defense in an enforcement action that it would have been necessary to halt or reduce the regulated activity in order to maintain compliance with the conditions of this permit.

- B. **Continuation of the Expired General Permit and Coverages under the Permit.** All general permits and coverages shall remain in full force and effect until the Permit Board makes a final determination regarding any reissuance, modification, or revocation.
- C. **Duty to Mitigate.** The owner or operator shall take all reasonable steps to minimize or prevent any discharge in violation of this permit, which is likely to adversely affect human health or the environment.
- D. **Duty to Provide Information.** The owner or operator shall furnish to the Permit Board, within a reasonable time, any information that the Permit Board may request to determine compliance with this permit.
- E. **Signatory Requirements.** All SCNOIs shall be signed as follows:
1. **For a corporation by a responsible corporate officer.** For this permit, a responsible corporate officer means: (a) a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the corporation; or (b) the manager of one or more manufacturing, production or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25,000,000 (in second-quarter 1980 dollars) if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures;
 2. **For a partnership or sole proprietorship by a general partner or the proprietor, respectively;**
 3. **For a municipal, State, Federal, or other public agency by either a principal executive officer or ranking elected official.** For purposes of this section, a principal executive officer of a Federal agency includes: (a) the chief executive officer of the agency, or (b) a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency.
- F. **Duly Authorized Representative.** All reports required by this permit and other information requested by the Permit Board shall be signed by a person described in Part V. E., above, or by a duly authorized representative of that person. A person is duly authorized representative when:
1. the authorization is made in writing by a person described in Part V. E., above, and submitted to the Permit Board, if requested;
 2. the authorization specifies either an individual or a position having responsibility for the overall operation of the regulated activity, such as manager, owner or operator, superintendent or one having overall environmental responsibility (a duly authorized representative may be a named individual or any individual occupying a named position).
- G. **Changes to Authorization.** If an authorization is no longer accurate because a different individual or position has permit responsibility, a new authorization satisfying the above requirements must be submitted to the Permit Board prior to or together with any reports, information or applications signed by the representative.
- H. **Certification.** Any person signing documents under this section shall make the following certification: I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.
- I. **Oil and Hazardous Substance Liability.** Nothing in this permit shall relieve the owner or operator from responsibilities, liabilities, or penalties under Section 311 of the Clean Water Act (CWA).
- J. **Property Rights.** The issuance of this permit does not convey any property rights of any sort, nor any exclusive privileges, nor does it authorize any injury to private property nor any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations.

- K. **Transfers.** Coverage under this permit is transferable after the former coverage recipient and new coverage recipient complete Form VIII. This form must be kept with your records. Submit to MDEQ only if an SCNOI has been submitted.
- L. **Severability.** The provisions of this permit are severable, and if any provision of this permit, or the application of any provision of this permit to any circumstance, is held invalid, the application of such provision to other circumstances, and the remainder of this permit shall not be affected thereby.
- M. **Proper Operation and Maintenance.** The owner or operator shall at all times properly operate and maintain all facilities and systems of treatment and control (and related appurtenances) which are installed or used by the owner or operator to achieve compliance with the conditions of this permit including the storm water pollution prevention plan. Proper operation and maintenance includes adequate laboratory controls with appropriate quality assurance procedures and requires the operation of backup or auxiliary facilities when necessary to achieve compliance with permit conditions.
- N. **Bypass Prohibition.** Bypass (see 40 CFR 122.41(m)) is prohibited and enforcement action may be taken against a owner or owner or operator for a bypass, unless: (a) The bypass was unavoidable to prevent loss of life, personal injury, or severe property damage; (b) There were no feasible alternatives to the bypass, such as the use of auxiliary treatment facilities, retention of untreated wastes, or maintenance during normal periods of equipment downtime. This condition is not satisfied if the owner or operator should, in the exercise of reasonable engineering judgement, have installed adequate backup equipment to prevent a bypass which occurred during normal periods of equipment downtime or preventive maintenance; and (c) The owner or operator submitted notices per Part IV. G. of this permit.
- O. **Upset Conditions.** An upset (see 40 CFR 122.41(n)) constitutes an affirmative defense to an action brought for noncompliance with technology-based permit limitations if a permittee shall demonstrate, through properly signed, contemporaneous operating logs, or other relevant evidence, that: (1) An upset occurred and the permittee can identify the specific cause(s) of the upset, (2) The permitted facility was at the time being properly operated, (3) The permittee submitted notices per Part IV. G. 2. of this permit, and (4) The permittee took remedial measures as required under Part V. C. of this permit. In any enforcement proceeding, the permittee has the burden of proof that an upset occurred. No determination made during administrative review of claims that noncompliance was caused by upset, and before an action for noncompliance, is final administrative action subject to judicial review.
- P. **Inspection and Entry.** The owner or operator shall allow the MDEQ staff or an authorized representative, upon the presentation of credentials and other documents as may be required by law, to;
 1. enter upon the premises where a regulated activity is located or conducted or where records must be kept under the conditions of this permit;
 2. have access to and copy at reasonable times any records that must be kept under the conditions of this permit; and
 3. inspect at reasonable times any facilities, equipment or project site.
- Q. **Permit Actions.** This permit may be modified, revoked and reissued, or terminated for cause. A request by the owner or operator for permit modification, revocation and reissuance, or termination, or a certification of planned changes or anticipated noncompliance does not stay any permit condition.

Part VI. Reopener Clause

- A. **Requirement to Obtain Individual Permit.** If there is evidence indicating potential or realized impacts on water quality due to storm water discharge covered by this permit, the owner or operator may be required to obtain individual permit in accordance with Part I. H. of this permit.
- B. **Permit Modification.** Permit modification or revocation will be conducted according to 40 CFR 122.62, 122.63, 122.64 and 124.5.

Part VII. Definitions

Best Management Practices (BMPs) means schedules of activities, prohibitions of practices, maintenance procedures, and other management practices to prevent or reduce the discharge of pollutants to waters of the United States. BMPs also include treatment requirements, operating procedures, and practice to control plant site runoff, spillage or leaks, sludge or waste disposal, or drainage from raw material storage.

Control Measure as used in this permit, refers to any Best Management Practice or other method used to prevent or reduce the discharge of pollutants to waters of the United States.

Commencement of Construction Activities means the initial disturbance of soils associated with clearing, grading, or excavating activities or other construction-related activities.

Commission means the Mississippi Commission on Environmental Quality.

Clean Water Act "CWA" refers to the Federal Water Pollution Control Act, 33 U.S.C. section 1251 et seq.

Discharge of Storm Water Associated with Small Construction Activity as used in this permit, refers to a discharge of pollutants in storm water runoff from areas where soil disturbing activities (e.g., clearing, grading, or excavation), construction materials or equipment storage or maintenance (e.g., fill piles, borrow area, concrete truck washout, fueling), or other industrial storm water directly related to the construction process (e.g., concrete) are located.

Executive Director means the Executive Director of the Department of Environmental Quality.

Facility or Activity means any NPDES "point source" or any other facility or activity (including land or appurtenances thereto) that is subject to regulation under the NPDES program.

Large Construction Activity includes clearing, grading, and excavating resulting in a land disturbance that will disturb equal to or greater than five (5) acres of land or will disturb less than five (5) acres of total land area but is part of a larger common plan of development or sale that will ultimately disturb equal to or greater than five (5) acres. Large construction activity is covered by another general permit.

Larger Common Plan of Development or Sale means a contiguous area where multiple separate and distinct construction activities are occurring under one plan. The plan in a common plan of development or sale is broadly defined as any announcement or piece of documentation (including a sign, public notice or hearing, sales pitch, advertisement, drawing, permit application, zoning request, computer design, etc.) or physical demarcation (including boundary signs, lot stakes, surveyor markings, etc.) indicating that construction activities may occur on a specific plot.

Operator for the purpose of this permit and in the context of storm water associated with construction activity, means any party associated with a construction project that meets either of the following two criteria:

1. The party has operational control over construction plans and specifications, including the ability to make modifications to those plans and specifications; or
2. The party has day-to-day operational control of those activities at a project which are necessary to ensure compliance with a storm water pollution prevention plan for the site or other permit conditions (e.g., they are authorized to direct workers at a site to carry out activities required by the SWPPP or comply with other permit conditions). This definition is provided to inform permittees of MDEQ's interpretation of how the regulatory definitions of "owner or operator" and "facility or activity" are applied to discharges of storm water associated with construction activity.

Owner or operator means the owner or operator of any "facility or activity" subject to regulation under the NPDES program.

Permit Board means the Mississippi Environmental Quality Permit Board established pursuant to Miss. Code Ann. § 49-17-28.

Pollutant is defined at 40 CFR 122.2. A partial listing from this definition includes: dredged spoil, solid waste, sewage, garbage, sewage sludge, chemical wastes, biological materials, heat, wrecked or discarded equipment, rock, sand, sediment, silt, cellar dirt, and industrial or municipal waste.

Runoff Coefficient means the fraction of total rainfall that will appear at the conveyance as runoff (see values below).

Successful Completion of all permanent erosion and sediment controls means when land disturbing construction activities have been completed and disturbed areas have been stabilized with no significant erosion occurring.

Small Construction Activity is defined at 40 CFR 122.26(b)(15) and incorporated here by reference. A small construction activity includes clearing, grading, and excavating resulting in a land disturbance that will disturb equal to or greater than one (1) acre and less than five (5) acres of land or will disturb less than one (1) acre of total land area but is part of a larger common plan of development or sale that will ultimately disturb equal to or greater than one (1) acre and less than five (5) acres. Small construction activity does not include routine maintenance that is performed to maintain the original line and grade, hydraulic capacity, or original purpose of the facility.

Storm Water means rainfall runoff, snowmelt runoff, and surface runoff.

Storm Water Pollution Prevention Plan "SWPPP" means a plan that includes site map(s), an identification of construction/contractor activities that could cause pollutants in the storm water, and a description of measures or practices to control these pollutants.

Values of Runoff Coefficient C:

Lawns:

- Sandy soil, flat 2% 0.05-0.10
- Sandy soil, average, 2-7% 0.10-0.15
- Sandy soil, steep, 7% 0.15-0.20
- Heavy soil, flat, 2% 0.13-0.17
- Heavy soil, average, 2-7% 0.18-0.22
- Heavy soil, steep, 7% 0.25-0.35

Business:

- Downtown areas 0.70-0.95
- Neighborhood areas 0.50-0.70

Residential:

- Single family areas 0.30-0.50
- Multi units, detached 0.40-0.60
- Multi units, attached 0.60-0.75

Residential:

- Suburban 0.25-0.40
- Apartment dwelling areas 0.50-0.70

Industrial:

- Light areas 0.50-0.80
- Heavy areas 0.60-0.90

Parks, cemeteries 0.10-0.25

Playgrounds 0.20-0.35

Railroad yard areas 0.20-0.40

Unimproved areas 0.10-0.30

Streets:

- Asphalt 0.70-0.95
- Concrete 0.80-0.95
- Brick 0.70-0.85
- Drives and walks 0.75-0.85
- Roofs 0.75-0.95

Part VIII.

**Transfer of Small Construction General Permit Coverage
and/or Name Change**

Instructions: For Ownership Change-Complete all Items on this page (except Item VIII) and reverse side.
For Name Change Only-Complete Items I, II, V, VI, VII, VIII, and reverse side.

<p>Item I. Facility Name: <u>Callaway's Yard and Garden</u> Location: (Do Not Use P.O. Box) Street: <u>Calhoun Pkwy</u> City: <u>Gluckstadt</u> State: <u>MS</u> Zip: <u>39110</u> County: <u>Madison</u> Telephone: () _____</p>	<p>Item II. Responsible official after transfer or name change: Name: _____ Title: _____ Mailing Address: Street/P.O. Box: _____ City: _____ State: _____ Zip: _____ Telephone () _____</p>
<p>Item III. Previous Permittee¹: _____ Mailing Address: Street/P.O. Box: _____ City: _____ State: _____ Zip: _____ Telephone: () _____</p>	<p>Item IV. New Permittee¹: _____ Mailing Address: Street/P.O. Box: _____ City: _____ State: _____ Zip: _____ Telephone: () _____</p>
<p>Item V. Industrial Activity SIC Code: _____ Brief Description: _____</p>	<p>Item VI. Will Facility Operations Change? Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, the appropriate applications and permits may required modification prior to change.</p>
<p>Item VII. Will Facility Name Change? Yes <input type="checkbox"/> No <input type="checkbox"/> If Yes, Provide New Name for Permit Coverage. New Name: _____</p>	<p>Item VIII. Signature for Name Change Print Name: _____ Authorized Signature²: _____ Title: _____ Date: _____</p>
<p>Item IX. We the undersigned transfer permit coverage MSR15 _____ (complete if known) From: _____ To: _____ Acquisition Date: _____</p>	
<p>By signature below, the new permittee certifies that they are aware of the requirements of the Small Construction General Permit and agrees to accept responsibility and liability for permit compliance. The previous permittee by signature below is transferring permit coverage to the new permittee.</p>	
<p>_____ Print New Permittee¹ Name</p> <p>_____ New Authorized Signature²</p> <p>_____ Title</p>	<p>_____ Print Previous Permittee¹ Name</p> <p>_____ Previous Authorized Signature²</p> <p>_____ Title</p>
<p>_____ Date</p> <p>_____ Date</p>	
<p>¹A Permittee is a company or individual that is covered under the general permit. ²Authorized Signature must be owner or operator.</p>	
<p>Page 1 of 2 January 2003</p>	

Item X. Storm Water

(Check One)

- The recipient certifies that they have received a copy of the SWPPP from the original owner.
- The recipient is developing a new SWPPP.

If other environmental permits are involved please contact MDEQ at 601/961-5171 for the appropriate MDEQ transfer form or see MDEQ's web site at www.deq.state.ms.us

Submit to MDEQ only if an SCNOI has been submitted. If not submitted, you must keep this form with your records.

Part IX.

**INSPECTION AND CERTIFICATION FORM FOR
SMALL CONSTRUCTION EROSION AND SEDIMENT CONTROLS**

This form shall be kept on-site unless required to be submitted to MDEQ (see Part IV. G.)
Inspections must be done weekly and after a half-inch rainfall event.
Coverage number if SCOI submitted (MSR15 _____)

(Please Print)

Name: _____

Project Name: _____

Project Street Address: _____

Project City and County: _____

Startup Date: _____

Mailing Address: _____

Mailing City/State/Zip: _____

Telephone Number: _____

Inspection Log

Date and Time	After a Half-Inch Rain?	Any Deficiencies Observed?	Inspector(s)
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____

Deficiencies Noted During any Inspection (give date(s); attach additional sheets if necessary):

Corrective Action Taken or Planned (give date(s)); (attach additional sheets if necessary):

Based upon this inspection which I or personnel under my direct supervision conducted, I certify that all erosion and sediment controls have been implemented and maintained, except for those deficiencies noted above, in accordance with the Storm Water Pollution Prevention Plan filed with the Office of Pollution Control and sound engineering practices as required by the above referenced permit.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations.

Authorized Name (Print)
Signature
Date

Note: This page is intentionally blank

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

Operator:
Peoples Construction Corp.
3913 Underwood Dr.
Flowood, MS 39232
601-932-1111

This form to be kept on jobsite at all times.

A. General

This plan lists erosion controls that are designed to retain sediment onsite and should to the greatest extent possible:

- Divert upslope water around disturbed areas
- Limit exposure of disturbed areas to the shortest time possible
- Disturb the smallest area possible
- Preserve existing vegetation where possible, especially trees
- Preserve vegetated buffer zones around any creek, drain, lake, pond or wetland
- Slow rainfall runoff velocities to prevent erosive flows
- Avoid disturbing sensitive areas such as:
 - Steep and/or unstable slopes
 - Land upslope of surface waters
 - Areas with erodible soils
 - Existing drainage channels
- Transport runoff down steep slopes through lined channels or piping
- Minimize the amount of cut and fill
- Re-vegetate disturbed areas as soon as possible
- Implement best management practices to mitigate adverse impacts from storm water runoff; and
- Remove sediment from storm water before it leaves the site by allowing runoff to pond in controlled areas to drop out sediment
- Filter runoff by using natural vegetation, brush barriers, silt fences, hay bales, waddles, etc.

B. Site Information

The site contains 4.8 acres, and has 4.8 acres of disturbed area. Site is an open grassed area. Site is bound by Calhoun Parkway on the east side, Church Rd on the north side, and a Lake connected to a creek that ties into Bear Creek on the south side. The site is sloped to the south with all run off to the lake. This project will not change the existing run off patterns. The site has a relatively flat slope with a low erosion hazard. This project will not change existing drainage patterns. Construction will consist of one 7,500 sf office/warehouse building with associated drive and parking areas.

C. Erosion & Sediment Controls

All cut slopes will be at or below 3:1 grade.

Construction egress will be over 1,000 square foot area course aggregate driveway.

Topsoil will be hauled off, or stockpiled for use in landscaping, with a siltfence around the stockpile

Siltfence (with metal T-bar posts and wire backing) will be installed along downhill drainage paths southward to prevent offsite sediment travel.

Cut slopes will be roughened prior to seeding.

All disturbed areas will be permanently seeded upon final grading. Temporary controls will remain until site is stabilized with vegetation growth.

D. Allowable Non-Storm Water Discharges

Discharges from fire-fighting activities

Fire hydrant flushings

Waters used to wash vehicles where no detergents are used

Water used to control dust

Potable water sources including water line flushings

Routine external building wash down that does not use detergents

Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used

Uncontaminated air conditioning or compressor condensate

Uncontaminated ground water or spring water

Foundation or footing drains where flows are not contaminated with process materials such as solvents

E. Housekeeping Practices

The following practices will be followed to prevent pollutants from entering storm water due to poor housekeeping:

Designate areas for equipment maintenance and repair and concrete chute wash off

Provide waste receptacles at convenient locations

Provide regular collection of waste

Provide protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials

Provide adequately maintained sanitary facilities

Provide secondary containment around on-site fuel tanks

Releases into the environment of hazardous substances, oil, and pollutants or contaminants, which pose a threat to applicable water quality standards or causes a film, sheen or discoloration of State waters, shall be reported to the:

- Mississippi Emergency Management Agency (601) 352-9100
- National Response Center 1-800-424-8802

F. Implementation Sequence

The owner or operator shall:

1. Implement the SWPPP as required;
2. Install down slope and perimeter controls before any major land disturbing activities;
3. Install needed erosion controls even if they may be located in the way of subsequent activities, such as utility installation, grading or construction
4. Implement controls as needed to prevent erosion and adverse impacts to receiving streams and shall install additional and/or alternative erosion and sediment controls when existing controls prove to be ineffective in preventing sediment from leaving the site;
5. Maintain all erosion and sediment controls. As a minimum accumulated sediment shall be removed from controls when it reaches 1/2 the height of the control and properly disposed. Nonfunctioning controls shall be repaired, replaced or supplemented with functional controls within 24 hours of discovery or as soon as field conditions allow;
6. Implement the appropriate temporary or permanent vegetative practices within seven calendar days when a disturbed area will be left undisturbed for thirty days or more;
7. Minimize off-site vehicle tracking of sediments;
8. Remove any off-site accumulations of sediment at a frequency sufficient to minimize offsite impacts
9. Comply with applicable State or local waste disposal, sanitary sewer or septic system regulations.

G. Inspection & Maintenance

Inspection of all erosion controls and other SWPPP requirements shall be performed during land disturbing activities. Inspections shall be performed:

At least once a week;

Within 24 hours of the end of a storm event of a half-inch or greater;

As often as is necessary to ensure that appropriate erosion and sediment controls have been properly constructed and maintained and determine if additional or alternative control measures are required.

All inspections required by this permit must be documented and certified. Documentation must include the day and time the inspection was performed, who performed the inspection, any deficiencies noted, and corrective action needed. Documentation of all inspections must be kept with the SWPPP. Inspections must continue until such time that planned construction activities have been completed, land disturbing activities have ceased and disturbed areas have been stabilized with no significant erosion occurring.

H. Scaled Site Map

See Blue Prints On Jobsite

**INSPECTION AND CERTIFICATION FORM FOR
SMALL CONSTRUCTION EROSION AND SEDIMENT CONTROLS**
 This form shall be kept on-site unless required to be submitted to MDEQ (see Part IV, G.)
 Inspections must be done weekly and after a half-inch rainfall event.
 Coverage number if SCOI submitted (MSR15 _____)
 (Please Print)

Name: _____
 Project Name: _____
 Project Street Address: _____
 Project City and County: _____
 Startup Date: _____
 Mailing Address: _____
 Mailing City/State/Zip _____
 Telephone Number _____

Inspection Log

Date and Time	After a Half-Inch Rain? Yes or No	Any Deficiencies Observed? Yes or No	Inspector(s)
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____
_____	Yes or No	Yes or No	_____

Deficiencies Noted During any Inspection (give date(s)) _____

Corrective Action Taken or Planned (give date(s)); (attach additional sheets if necessary):

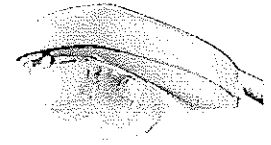
Based upon this inspection which I or personnel under my direct supervision conducted, I certify that all erosion and sediment controls have been implemented and maintained, except for those deficiencies noted above, in accordance with the Storm Water Pollution Prevention Plan filed with the Office of Pollution Control and sound engineering practices as required by the above referenced permit. I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations.

Authorized Name (Print) _____ Signature _____ Date _____

Energy security lighting. Easy options for peace of mind.

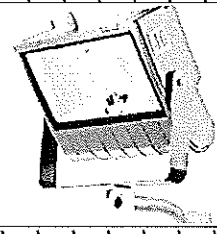
COBRA HEAD

- Available in Various Wattage Sizes
- Available in Amber Glow Light (High Pressure Sodium) and Bright White Light (Metal Halide)
- Parking Lot and Roadway Lighting
- Mounted on Entergy-Owned Poles



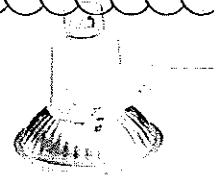
DIRECTIONAL

- Available in Various Wattage Sizes
- Available in Amber Glow Light (High Pressure Sodium) and Bright White Light (Metal Halide)
- Area Lighting and Feature Highlighting
- Installed on Entergy-Owned Poles



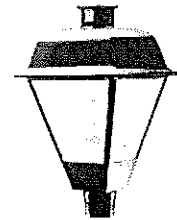
OPEN BOTTOM

- Available in Various Wattage Sizes
- Available in Amber Glow Light (High Pressure Sodium) and Bright White Light (Metal Halide)
- Circular Lighting Pattern
- Area Lighting, Primarily Residential
- Installed on Entergy-Owned Poles



TRADITIONAIRE

- Available in Various Wattage Sizes
- Amber Glow Light (High Pressure Sodium)
- Subdivision, Office Park, Retail and Roadway Lighting
- Mounted on Entergy-Owned Poles



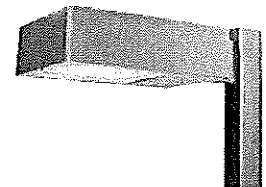
WESTMINSTER (ACORN)

- Available in Various Wattage Sizes
- Available in Amber Glow Light (High Pressure Sodium) and Bright White Light (Metal Halide)
- Subdivision, Office Park, Retail and Roadway Lighting
- Mounted on Entergy-Owned Poles



SHOEBOX

- Available in 400 Wattage
- Available in Amber Glow Light (High Pressure Sodium)
- Office Park, Retail and Roadway Lighting
- Mounted on Entergy-Owned Poles



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GENERAL CONSTRUCTION NOTES:

- 1 IT IS NOT THE INTENT OF THESE CONSTRUCTION NOTES TO COVER ALL DETAILS AND/OR THE SPECIFICATION REQUIREMENTS FOR THE PROJECT
2 THE CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO RESIDENTIAL, COMMERCIAL AND PUBLIC PROPERTIES IN THE PROJECT AREA
3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTAL ITEMS NEEDED TO PROVIDE ADEQUATE CONSTRUCTION...

WATER/SEWER NOTES:

- 1 ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND WATER ASSOCIATION SPECIFICATIONS
2 THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF WATER AND SEWER UTILITIES
3 THE CONTRACTOR SHALL MAKE ALL TIES TO EXISTING STUB-OUTS PROVIDED BY BEAR CREEK WATER ASSOCIATION...

STORM DRAIN NOTES:

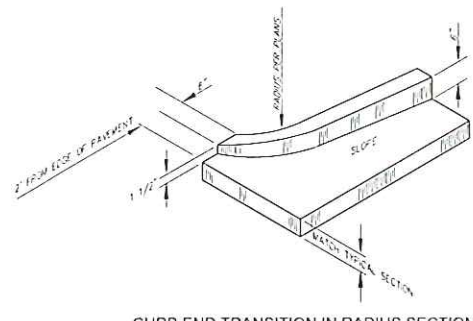
- 1 TECHNICAL SPECIFICATIONS FOR ALL MATERIALS AND CONSTRUCTION METHODS FOR THE STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR THE MANUFACTURER'S RECOMMENDATION
2 JOINTS SHALL BE CONSTRUCTED AND JOINED TOGETHER IN SUCH A MANNER THAT NO SPILL THROUGH OF BACKFILL WILL OCCUR...

EROSION CONTROL NOTES:

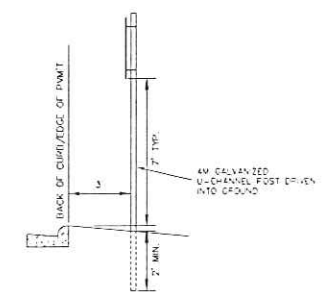
- 1 EROSION AND SEDIMENT CONTROL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
2 THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO CONTROL EROSION AND WATER POLLUTION THROUGH THE CONSTRUCTION PERIOD...

SITE GRADING AND PAVING NOTES:

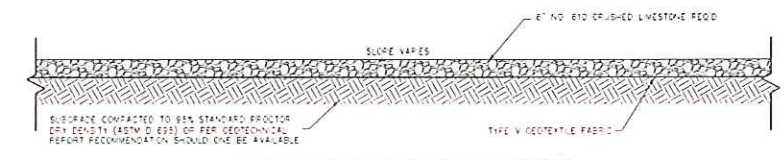
- 1 TECHNICAL SPECIFICATION FOR MATERIALS AND CONSTRUCTION METHODS FOR PAVING AND EARTHWORK THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THESE PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT IF AVAILABLE
2 LARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING, AND THE STOCKPIILING OF TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS...



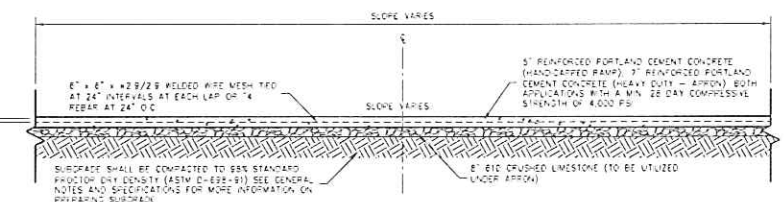
CURB END TRANSITION IN RADIUS SECTION



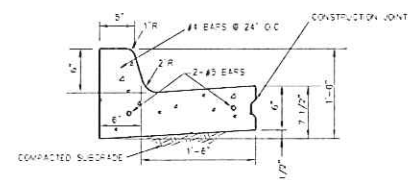
TRAFFIC SIGN INSTALLATION



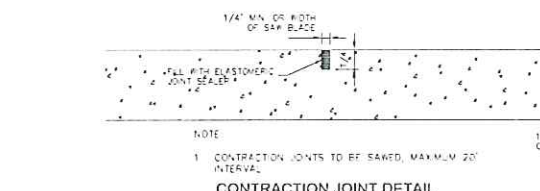
TYPICAL SECTION OF CRUSHED LESTONE



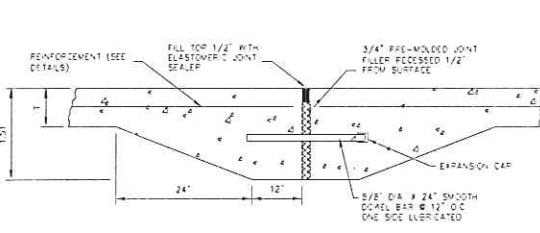
TYPICAL SECTION OF RIGID PAVEMENT STRUCTURE



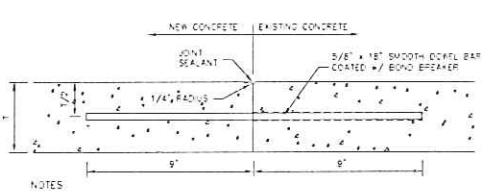
CONTRACTION JOINT DETAIL



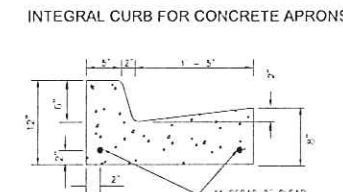
LONGITUDINAL JOINT DETAIL



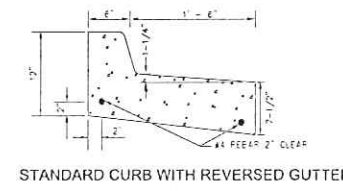
TRANSVERSE EXPANSION JOINT DETAIL



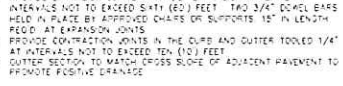
PROPOSED CONCRETE PAVEMENT TO EXISTING CONCRETE PAVEMENT DETAIL



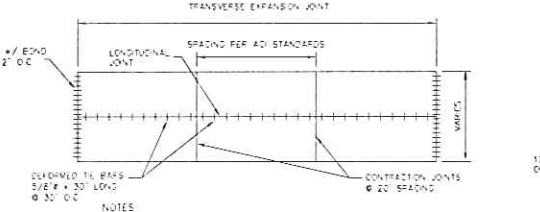
INTEGRAL CURB FOR CONCRETE APRONS



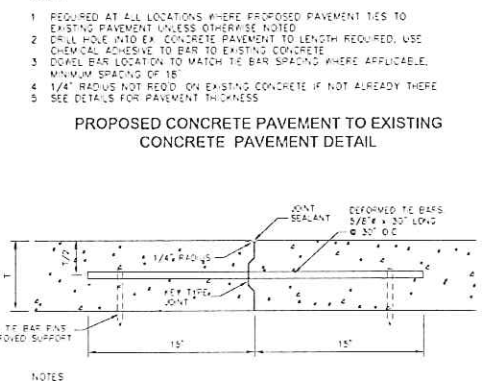
STANDARD CURB AND GUTTER



STANDARD CURB WITH REVERSED GUTTER



TYPICAL JOINT SPACING FOR RIGID PAVEMENT



CONSTRUCTION JOINT DETAIL

BENCHMARK ENGINEERING & SURVEYING, LLC logo and contact information including address and phone number.

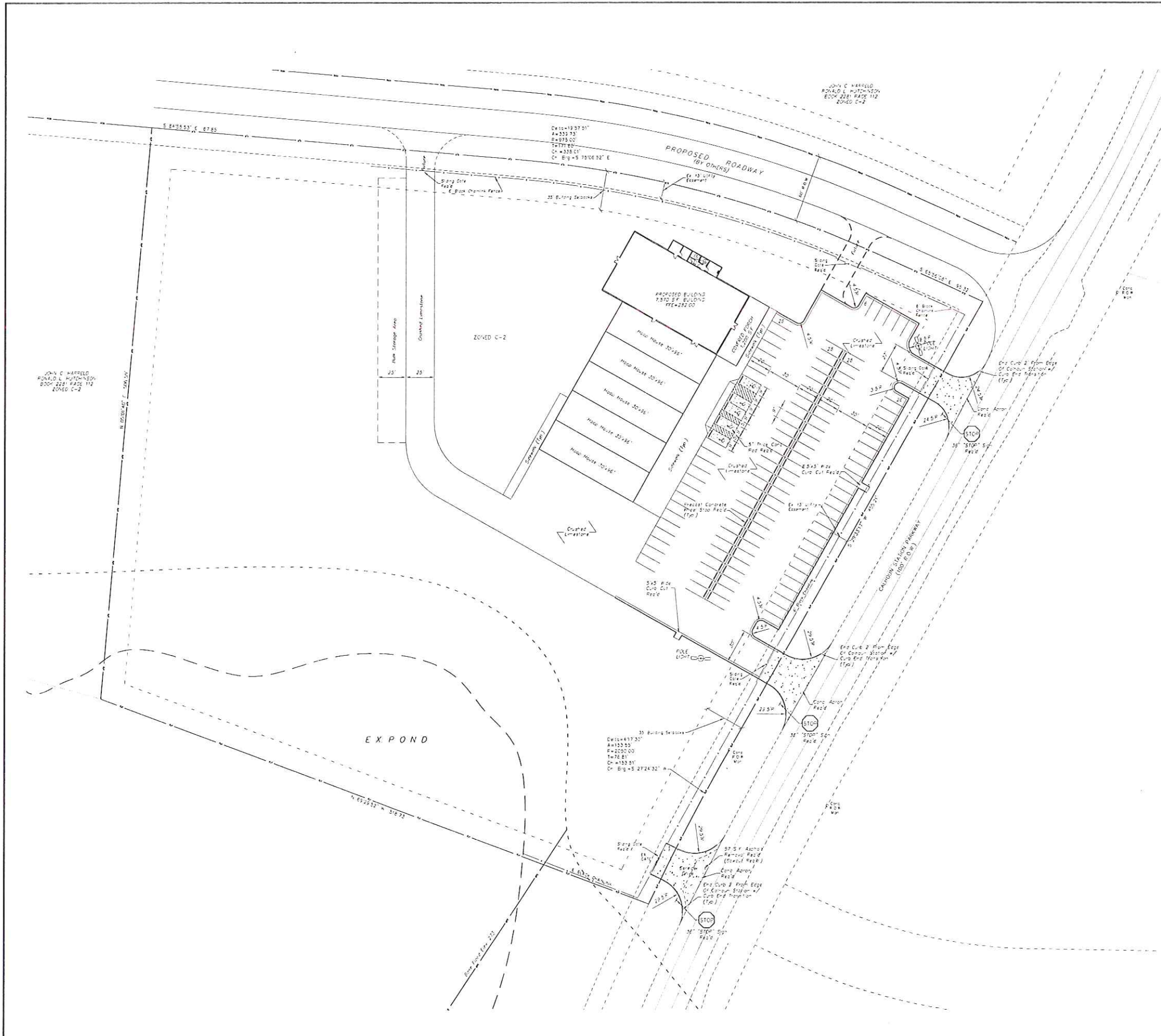
Table with columns for DATE, DRAWN, SCALE, CHECKED, and other project details.

PROJECT LOCATION: CALLOWAY STATION PARKWAY, MADISON COUNTY, MISSISSIPPI. CLIENT: PROPLES CONSTRUCTION CORPORATION.

PROJECT: CALLOWAY'S YARD & GARDEN CENTER. SHEET CONTENTS: GENERAL NOTES & MISCELLANEOUS DETAILS.

SHEET NUMBER: C1.0. PROJECT NUMBER: B-5029.





JOHN C. HARRELL
RONALD L. HUTCHINSON
BOOK 2281 PAGE 112
ZONED C-2

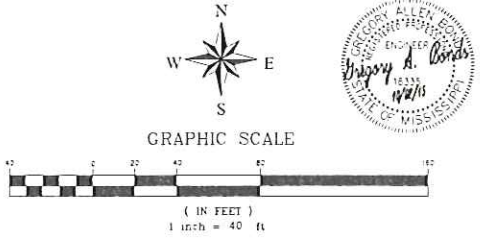
JOHN C. HARRELL
RONALD L. HUTCHINSON
BOOK 2281 PAGE 112
ZONED C-2

LEGEND

---	PROPERTY LINE
---	EXISTING RIGHT OF WAY
---	PROPOSED RIGHT OF WAY
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	PROPOSED FENCE

PROJECT SITE INFORMATION
CURRENT ZONING - C-2, HIGHWAY COMMERCIAL DISTRICT
MINIMUM SETBACK REQUIREMENTS
FRONT - 35', SIDE - 0, REAR - 20'
TOTAL ACREAGE - 384,258.32± SF (8.78± AC)
ACREAGE BREAKDOWN
BLDG & HOOD HOUSES - 0.53 ac (22,856± sf), 6.3%
SIDEWALKS - 0.12 ac (5,382± sf), 1.5%
INTERVUS DRIVES - 1.45 ac (63,137± sf), 17.3%
PERVIOUS PARKING - 0.03 ac (1,280± sf), .1%
GREEN AREA - 0.16 ac (69,355± sf), 73.5%
PARKING COUNT - 114 INCLUDING 8 HANDICAPPED

- NOTES**
1. THIS PARCEL IS LOCATED IN FLOOD ZONE AE & X ACCORDING TO FLOOD INSURANCE RATE MAP PANEL 28082C0145F DATED 03/17/2010. BASE FLOOD ELEVATION VARIES FROM 273.00 - 274.50.
 2. BOUNDARY SURVEY WAS PROVIDED BY OTHERS.
 3. RADIAL DIMENSIONS ARE SHOWN TO BACK OF CURB.
 4. SEE TYPICAL SECTIONS FOR PAVING REQUIREMENTS.
 5. PROPOSED PAVING IS SHOWN AS PROVIDED BY OTHERS. LOCATION AND STOPPING AND STARTING POINTS MAY VARY FROM SHOWN.
 6. PARKING LOT WILL NOT BE STRIPPED SINCE IT IS CRUSHED LIMESTONE. PARKING SPACES SHOWN ARE TO INDICATE THE NUMBER OF PARKING PLACES SITE WILL ALLOW.
 7. ALL STRIPING SHALL BE FAST DRYING SOLVENT BASED TRAFFIC PAVEMENT PAINT FOR USE ON BITUMINOUS AND PORTLAND CEMENT CONCRETE PAVEMENT. PAINT SHALL MEET THE REQUIREMENTS OF SECTION 710 OF THE LATEST EDITION OF THE MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 8. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS OF DIMENSION AND COLOR PER CODE, WITH UNIFORM STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES TO PRODUCE A WET FILM THICKNESS OF 15 MILS AND ONLY AT MANUFACTURER'S AMBIENT AND SURFACE TEMPERATURES.

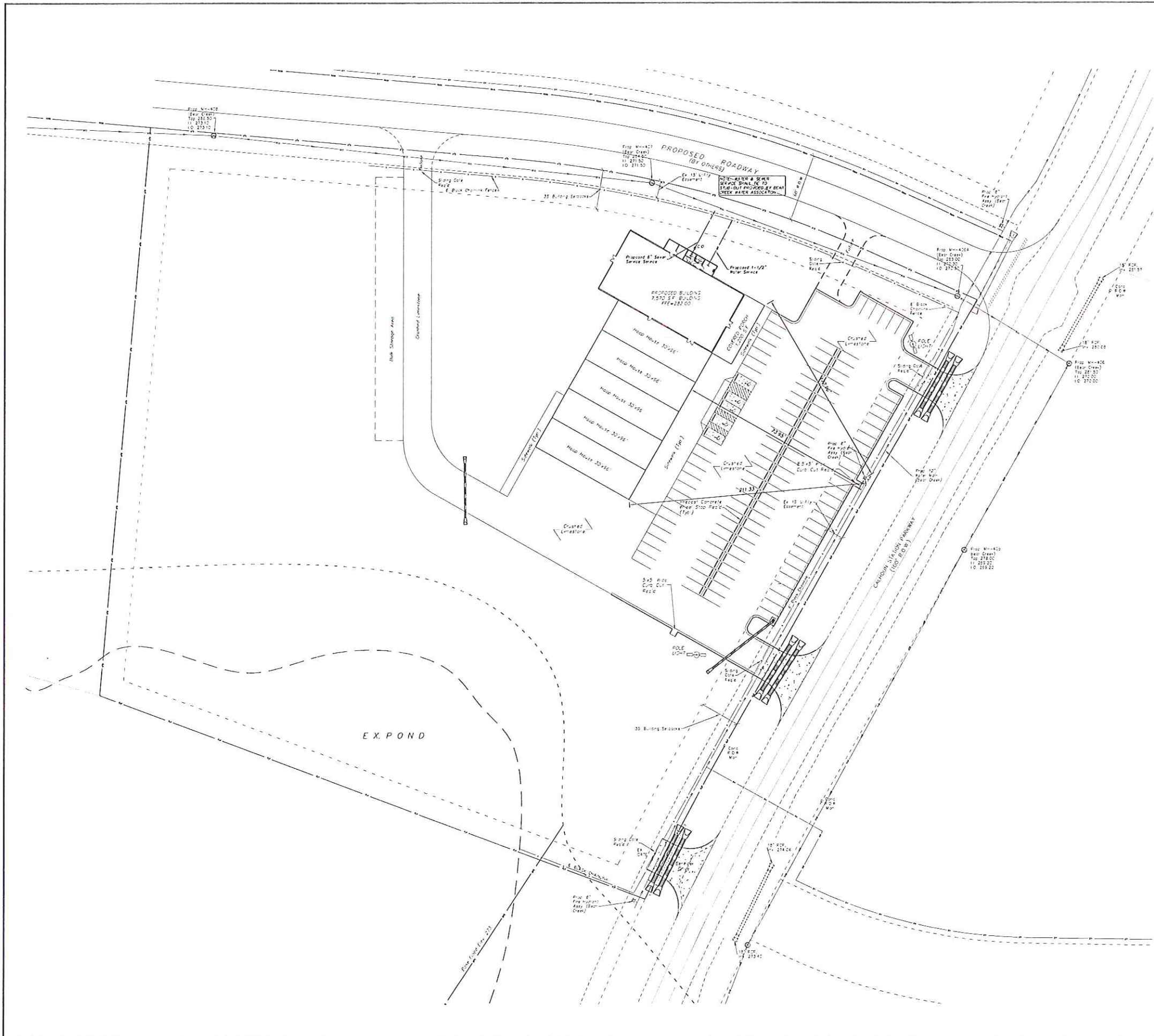


REVISIONS:	02/26/25
DATE:	10/02/25
CHECKED:	GAB
DATE:	10/02/25
DRAWN:	EGC
SCALE:	1"=40'
REF. C/A:	EGC SURFACE
EGC SURFACE:	EGC SURFACE

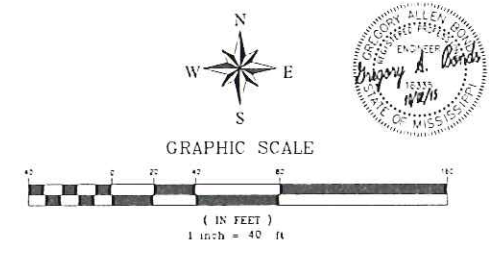
PROJECT LOCATION:
CALHOUN STATION PARKWAY
MADISON COUNTY, MISSISSIPPI
CLIENT:
PEOPLES CONSTRUCTION CORPORATION
3913 UNDERWOOD DRIVE, FLOWOOD, MS 39232

PROJECT:
CALLAWAY'S YARD & GARDEN CENTER
SHEET CONTENTS:
SITE LAYOUT

SHEET NUMBER:
C2.0
PROJECT NUMBER:
B-5029



- NOTES
- SEE SHEET C1.0 FOR MORE DETAILED INFORMATION AND SPECIFICATIONS
 - CONTRACTOR SHALL CONTRACT MS ONE CALL FOR A UTILITY LOCATE PRIOR TO BEGINNING CONSTRUCTION AND HAVE LOCATE UPDATED AS REQUIRED TO AVOID EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION
 - CONTRACTOR SHALL VERIFY EXISTING LOCATION AND ELEVATION OF ALL EXISTING UTILITY INFRASTRUCTURE PRIOR TO BEGINNING CONSTRUCTION AND ORDERING MATERIALS FOR PROPOSED UTILITY WORK INVOLVING EXISTING INFRASTRUCTURE SO THAT ADJUSTMENTS CAN BE MADE IF NECESSARY
 - CONTRACTOR SHALL COORDINATE ALL WORK DIRECTLY CROSSING, INVOLVING OR IN THE GENERAL VICINITY OF EXISTING UTILITIES WITH THE UTILITY OWNER
 - CONTRACTOR SHALL COORDINATE EXACT SIZE AND LOCATION OF UTILITIES TO PROPOSED STRUCTURES WITH THE PLUMBING PLANS PRIOR TO CONSTRUCTION AND ADJUST ACCORDINGLY
 - WATER AND SEWER IS BEING INSTALLED FOR THIS AREA BY BEAR CREEK WATER ASSOCIATION. ALL ITEMS COATED AS (BEAR CREEK) IS PROPOSED INFRASTRUCTURE THAT IS BEING INSTALLED BY BEAR CREEK WATER ASSOCIATION
 - CONTRACTOR SHALL COORDINATE, TIE IN LOCATIONS, REQUIREMENTS AND CONNECTIONS WITH BEAR CREEK WATER ASSOCIATION

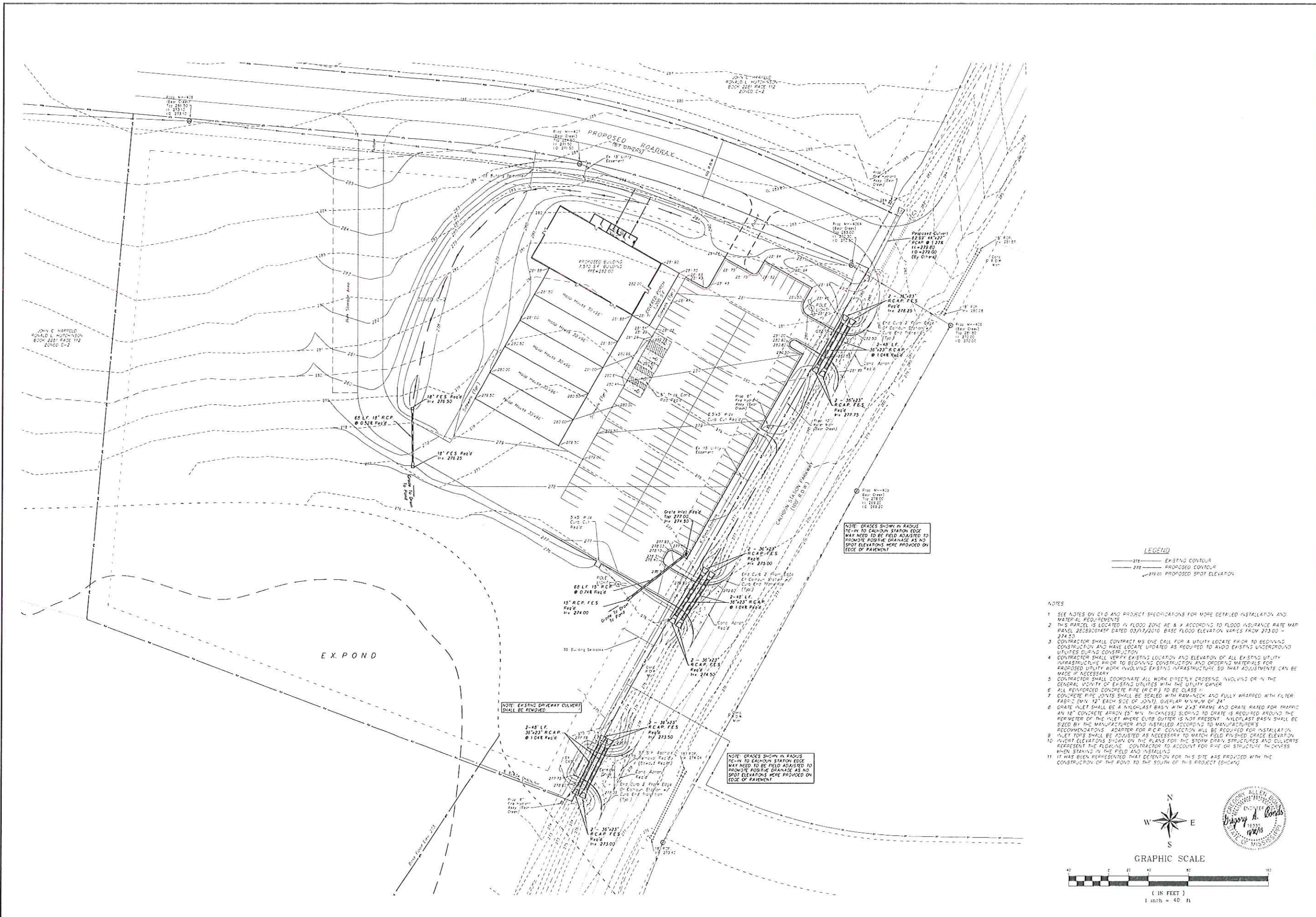


REVISIONS:	DATE:	DRAWN:	DATE:
	10/02/15	GAB	10/02/15
		GAB	
		C/A	
		CG SURFACE	
		EG SURFACE	

PROJECT LOCATION:
 CALHOUN STATION PARKWAY
 MADISON COUNTY, MISSISSIPPI
 CLIENT:
 PEOPLES CONSTRUCTION CORPORATION
 3913 UNDERWOOD DRIVE, FLOWOOD, MS 39232

PROJECT:
CALLAWAY'S YARD & GARDEN CENTER
 SHEET CONTENTS:
UTILITY LAYOUT

SHEET NUMBER:
C3.0
 PROJECT NUMBER:
B-5029



DATE:	10/27/15	BY:	RAM/DOB	DATE:	10/27/15
CHECKED:	CAE	SCALE:	1" = 40'	PROJECT:	10/27/15
REV:	C/A	PROJECT:	CALLAWAY'S YARD & GARDEN CENTER	DATE:	10/27/15
TC:	SURFACE	PROJECT:	GRADING & DRAINAGE LAYOUT	DATE:	10/27/15

PROJECT LOCATION:
CALLAWAY'S YARD & GARDEN CENTER
MADISON COUNTY, MISSISSIPPI

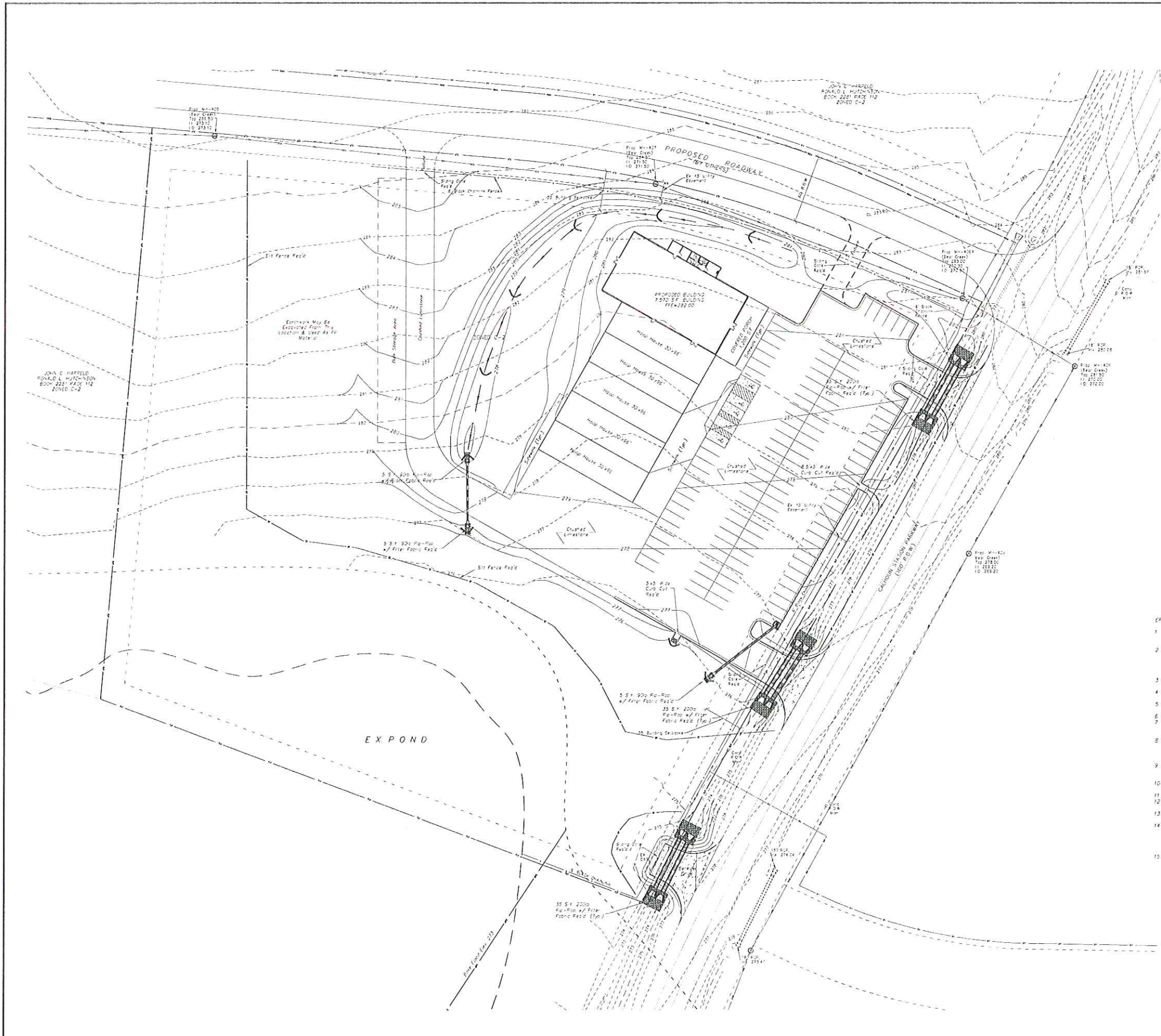
CLIENT:
PEOPLES CONSTRUCTION CORPORATION
3913 UNDERWOOD DRIVE, FLOWOOD, MS 39232

PROJECT:
CALLAWAY'S YARD & GARDEN CENTER

SHEET CONTENTS:
GRADING & DRAINAGE LAYOUT

SHEET NUMBER:
C3.1

PROJECT NUMBER:
B-5029



CONSTRUCTION SEQUENCE

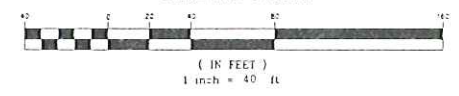
Construction Activity	Schedule Consideration
Construction Access: Construction entrance, construction routes, equipment parking and materials storage area	First land-disturbing activity, stabilize core areas immediately with gravel and temporary vegetation as construction takes place, construct equipment and materials staging area, install temporary sanitary facilities & trash containers
Sediment Traps and Barriers: Sediment fences, straw bale barriers, inlet protection & sediment basins	Install principal basins after construction site is accessed. Install additional traps and barriers as needed during grading
Runoff Control: Diversion, water bars, and outlet protection	Install key practices after principal sediment traps and before final grading. Install additional runoff-control measures during grading
Runoff Conveyance System: Stabilize stream banks, storm drains, ditches, inlet and outlet protection, slope drains	Where necessary, stabilize stream banks as early as possible. Install principal runoff conveyance with runoff control measures. Install remainder of system after grading
Land Clearing and Grading: Site preparation, cutting, filling and grading, sediment basins, barriers, diversions, drains, surface roughening	Begin major clearing and grading after principal sediment and key runoff control measures are installed. Clear borrow and disposal areas only as needed. Install additional control measures as grading progresses. Don't place equipment or personnel within drip line of marked trees.
Surface Stabilization: Temporary and permanent seeding, mulching, sodding, rip-rap	Apply temporary or permanent stabilization measures immediately on disturbed areas where work is delayed or complete.
Building Construction: Buildings, utilities, paving	Install necessary erosion and sedimentation control practices as work takes place. Install a sealable materials storage container in staging area. Construct a temporary concrete washout area.
Landscaping and Final Stabilization: Top soiling, trees and shrubs, permanent seeding, mulching, sodding, rip-rap	Last construction phase - remove temporary concrete washout area, stabilize all open areas, including borrow and spoil areas. Remove and stabilize all temporary control measures.

EROSION CONTROL NOTES

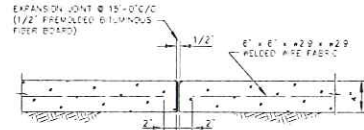
1. EROSION CONTROL ITEMS DEPICTED ON THE CONTRACT DRAWINGS ARE THE MINIMUM REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL ITEMS AS NEEDED TO MEET ABOVE MENTIONED REQUIREMENTS.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO CONTROL EROSION AND STORM WATER POLLUTION THROUGHOUT THE CONSTRUCTION PERIOD IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOCD. THIS INCLUDES BUT IS NOT LIMITED TO: PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT MEASURES; INSPECTIONS, INSPECTION REPORTS, AND UPDATES TO EROSION CONTROL PLAN SHOWING FAILURES, REPAIRS AND ADDITIONAL MEASURES TAKEN.
3. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN.
4. CLEARING AND GRUBBING SHALL BE HELD TO THE MINIMUM WIDTH NECESSARY TO ACCOMMODATE MACHINERY.
5. CONSTRUCTION ENTRANCE LOCATION SHALL BE COORDINATED WITH THE MADISON COUNTY BUILDING DEPARTMENT.
6. EMBANKMENTS AND EXCAVATED AREAS SHALL BE PROMPTLY STABILIZED TO MINIMIZE EROSION.
7. MATTE EROSION CHECKS, SILT FENCING OR OTHER APPROVED EMVS SHALL BE USED ALONG THE TOE OF ALL SLOPES, IN DITCHES AND IN OTHER AREAS WHERE EROSION IS A PROBLEM AND SILT LADEN RUNOFF MAY ENTER A STREAM, DITCH OR ADJACENT PROPERTY.
8. ANY STOCKPILED SOIL OR FILL MATERIAL SHALL BE LOCATED AND TREATED IN A MANNER TO PREVENT SILT FROM ENTERING STREAMS, DITCHES OR ADJACENT PROPERTY. NO EXCAVATED MATERIAL SHALL BE DISCHARGED FROM THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL DISPOSE OF ALL EXCAVATED MATERIAL IN A LOCATION APPROVED BY THE ENGINEER/OWNER.
9. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUALLY MAINTAINED. THE CONTRACTOR SHALL KEEP ALL AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION FREE OF MUD AND DEBRIS.
10. CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL REQUIREMENTS OF MADISON COUNTY AND THE REQUIREMENTS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
11. CONTRACTOR TO UTILIZE APPROVED BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
12. ALL DISTURBED AREAS NOT PAVED SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED AS REQUIRED TO PREVENT EROSION.
13. ALL EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE DISTURBED UPSTREAM AREA HAS BEEN INSPECTED BY THE ENGINEER AND APPROVAL HAS BEEN GIVEN FOR REMOVAL.
14. CONTRACTOR WILL PROVIDE A STORAGE AREA FOR ALL POTENTIALLY TOXIC MATERIALS THAT ARE TO BE STORED ON SITE. THE LOCATION OF THIS AREA SHALL BE COORDINATED WITH THE ENGINEER/MADISON COUNTY COMMUNITY DEVELOPMENT. FUEL AND MATERIAL STORAGE AREAS SHALL BE LOCATED AS FAR AWAY FROM ANY DITCHES OR STREAMS AS POSSIBLE. A 60ML POLYETHYLENE LINER IS REQUIRED UNDER FUEL TANKS.
15. CONTRACTOR WILL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENT REQUIRED TO RESTORE AREAS TO THEIR ORIGINAL CONDITION WHERE EROSION CONTROL MEASURES FAILED.



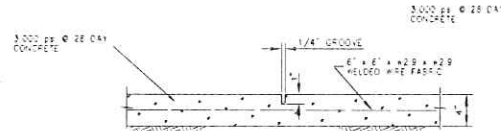
GRAPHIC SCALE



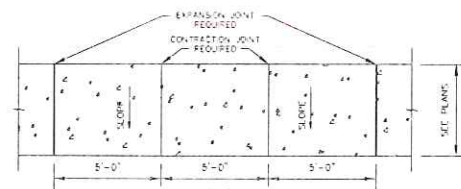
NOTE: EXPANSION JOINT REQUIRED WHERE TRING
SLOPE TO BE JOINED OR BACK-UP CURB WITH
NON-ENTRAPPED FIBER-REINFORCED COMPRESSION
FITTINGS



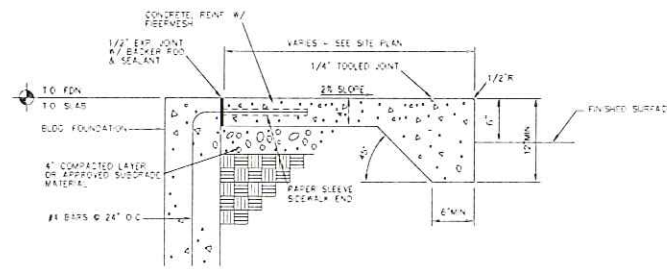
SIDEWALK EXPANSION JOINT DETAIL



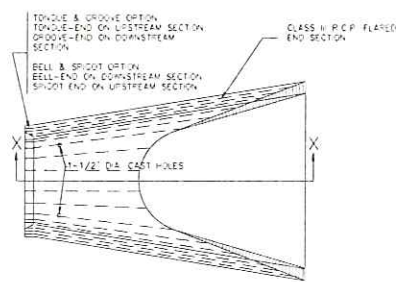
SIDEWALK CONTRACTION JOINT DETAIL



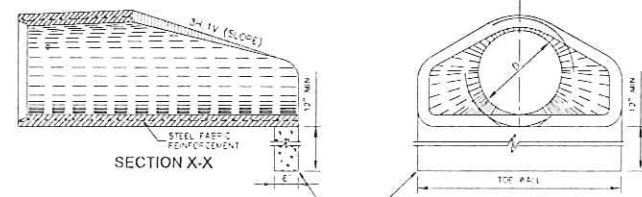
SIDEWALK JOINT LAYOUT DETAIL



SIDEWALK AT BUILDING & EDGE OF PAVEMENT
N.T.S.



PLAN OF DOWNSTREAM END

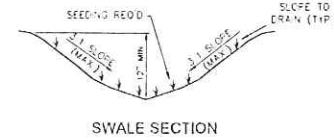


SECTION X-X

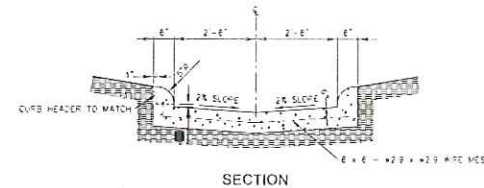
CONCRETE FLARED END SECTION NOTES

1. ALL FLARED END SECTIONS SHALL BE PRECAST STRUCTURES MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MOST STANDARD DETAIL WORKING NUMBER FE-1, SHEET 328 FOR CLASS II CONCRETE PIPE AND WORKING NUMBER FE-1A, SHEET 329 FOR CLASS II CONCRETE ARCH PIPE.
2. ALL LIFT HOLES SHALL BE SEALED WITH NON-SHRINK GROUT PER MOST SPECIFICATIONS FOR SEALING CONCRETE PIPE.
3. TEE SHALL BE REQUIRED ON ALL FLARED END SECTIONS AND SHALL RUN FULL WIDTH OF FLARED END SECTION.

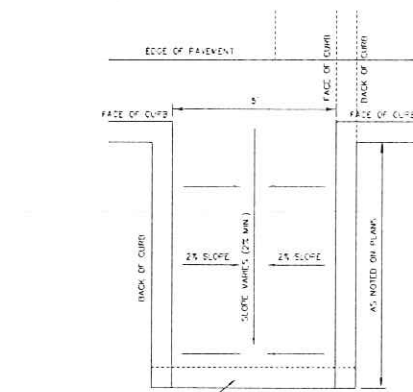
CONCRETE FLARED END SECTION
N.T.S.



SWALE SECTION

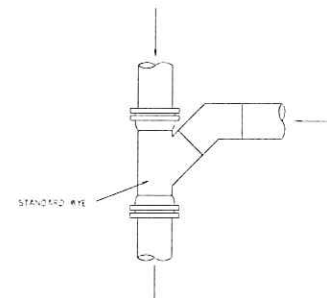


SECTION

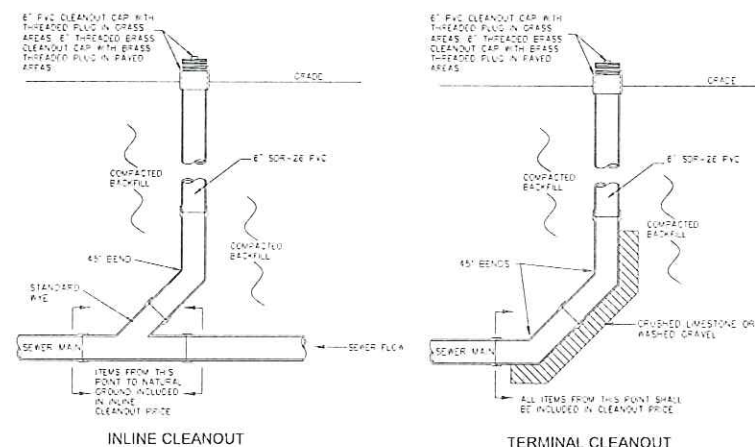


PAVED FLUME
N.T.S.

- PAVED FLUME NOTES
1. CONCRETE SHALL BE MATCH REQUIREMENTS OF CONCRETE CURB AND GUTTER.
 2. ALL CONCRETE CONSTRUCTION AND MATERIALS SHALL MEET THE APPLICABLE REQUIREMENTS OF THE MISSISSIPPI STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION.

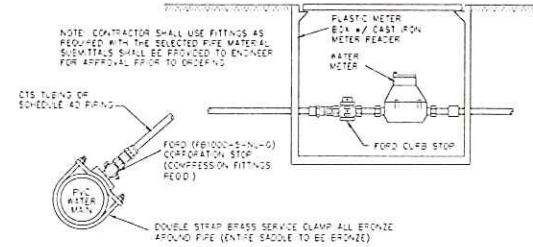


STANDARD WYE



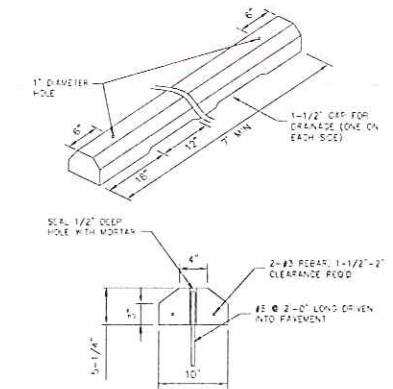
INLINE CLEANOUT

TERMINAL CLEANOUT



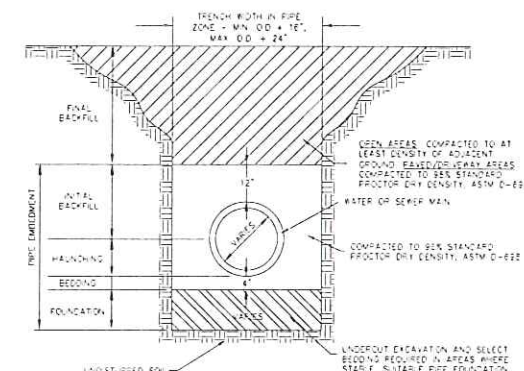
TYPICAL DOMESTIC SERVICE LINE

NOTE: COORDINATE WATER CONNECTION WITH BEAR CREEK WATER ASSOCIATION.



PRECAST CONCRETE WHEEL STOP
N.T.S.

- NOTES
1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS.
 2. WHEEL STOPS SHALL BE 7' OR 8' IN LENGTH.
 3. WHEEL STOPS REQUIRED ON ALL PARKING SPACES ADJACENT TO PROPOSED GRADE/PAVED DRIVE.
 4. ADDITIONAL DESIGNS WILL BE CONSIDERED BUT MUST BE SUBMITTED FOR APPROVAL PRIOR TO BIDDING.



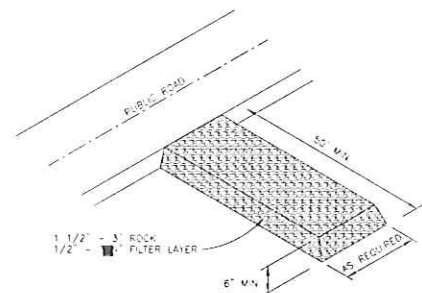
- TYPICAL TRENCH NOTES
1. PIPE EMBEDMENT MATERIALS SHALL COMPLY WITH REQUIREMENTS OF SPECIFICATIONS.
 2. FINAL BACKFILL SHALL BE NATIVE MATERIAL IN OPEN AREAS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 3. FINAL BACKFILL SHALL BE SELECT MATERIAL IN ALL TRENCHES CONSTRUCTED UNDER ROCK/PAVED CURBS OR PAVED AREAS. MATERIAL SHALL EXTEND 2' BEHIND THE EDGE OF PAVING STRUCTURE(S).
 4. TRENCH SETTLEMENT REPAIR IS THE CONTRACTOR'S RESPONSIBILITY DURING WARRANTY PERIOD.
 5. SELECT BEDDING MATERIAL FOR PIPE EMBEDMENT WHICH CONSISTS OF BEDDING, HAUNCHING AND INITIAL BACKFILL ZONES SHALL BE RESORBED IN THE REEF FOOT COAST OF THE PIPE UNDER CUT EXCAVATION MAY BE REQUIRED IF MATERIAL AT PLANNED GRADE WILL NOT PROVIDE STABLE TRENCH BOTTOM FOR PIPE LAYING.
 6. FOUNDATION, SELECT BEDDING AND UNDERCUT EXCAVATION WILL BE PLACED AS DIRECTED BY THE ENGINEER.

TYPICAL TRENCH DETAIL FOR WATER AND SEWER LINES

BENCHMARK ENGINEERING & SURVEYING, LLC
101 Magnolia Court, Suite B, Frantzen, Mississippi 39022
Phone: 662-833-1111
Fax: 662-833-1111

PROJECT LOCATION: CALLAWAY STATION PARKWAY, MADISON COUNTY, MISSISSIPPI
CLIENT: PEOPLES CONSTRUCTION CORPORATION, 3913 UNLAWOOD DRIVE, FLOWOOD, MS 39232

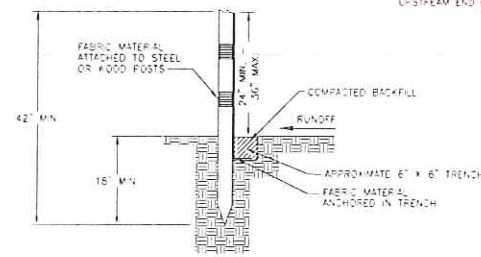
PROJECT: CALLAWAY'S YARD & GARDEN CENTER
SHEET CONTENTS: CONSTRUCTION DETAILS
SHEET NUMBER: C4.0
PROJECT NUMBER: B-5029



NOTES

- VEHICLE TRACKING MAT SHALL BE LOCATED AT EVERY ENTRANCE/EXIT TO THE CONSTRUCTION SITE
- VEHICLE TRACKING MAT SHALL BE MAINTAINED BY CONTRACTOR AS NEEDED TO PREVENT ANY MATERIAL FROM BEING TRACKED ONTO CITY STREET
- SEDIMENT AND OTHER MATERIAL SPILLED, DROPPED OR TRACKED ONTO CITY STREET SHALL BE IMMEDIATELY REMOVED BY CONTRACTOR

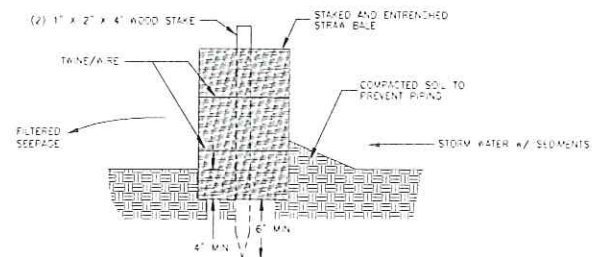
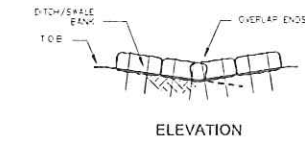
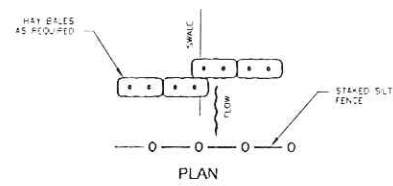
TEMPORARY CONSTRUCTION ENTRANCE DETAIL



SILT FENCE DETAILS

NOTES

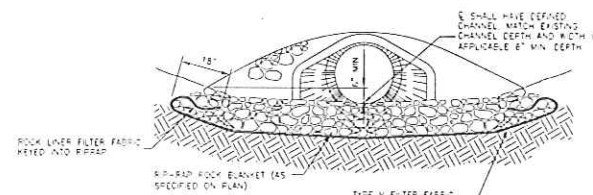
- GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 30" IN WIDTH. STEEL POSTS SHALL BE 5" IN HEIGHT AND OF THE SELF-FASTENER AND STEEL TYPE
- WOOD POSTS SHALL BE A MINIMUM OF 5" IN HEIGHT AND 4" OR MORE IN DIAMETER AND SPACED AT 10' CENTERS
- WOODEN STAKES SHALL BE A MINIMUM OF 3" IN HEIGHT AND 1" X 2" AND SHALL BE USED AS NEEDED IN BETWEEN WOODEN POSTS BUT SPACED NO MORE THAN 3' APART AND DRIVEN 6" INTO GROUND
- FENCE SHALL BE FASTENED WITH NOT LESS THAN 9 GAUGE STAPLES 1" LONG FOR WOODEN POSTS AND 3/4" FOR WOODEN STAKES
- ALLOW A 6" OVERLAP OF FABRIC AT JOINTS



HAY BALE INSTALLATION NOTES

- HAY BALES SHALL BE TRENCHED 3" TO 4" AND STAKED WITH (2) 1" X 1/2" X 4" WOOD STAKES PER BALE
- SILT FENCE SHALL BE DOWN STREAM OF HAY BALES
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER UNAVOIDABLE GAPS SHALL BE FLOCCED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING

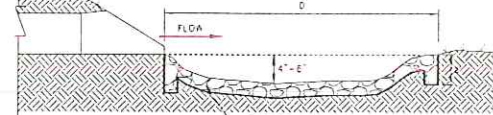
HAY BALE INSTALLATION



TYPICAL RIP-RAP SECTION AT STORM DRAIN CULVERT

P.I.P.E. #	D	W
15"	5	4
18"	6	4
24"	6	5
30"	10	6
36"	10	7
42"	12	8

* SEE PLANS FOR DIMENSION FOR PIPES OVER 42"

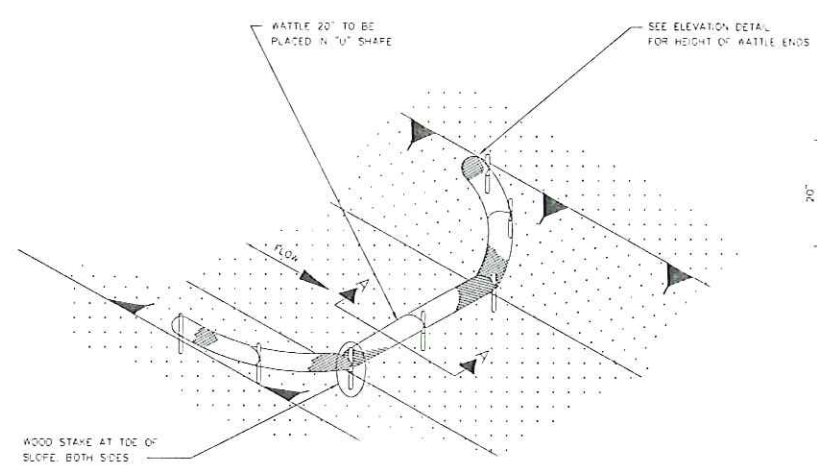


DOWNSTREAM ELEVATION

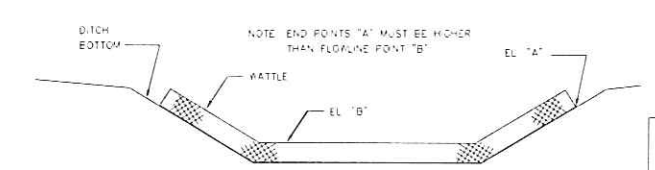
NOTES

- RIP-RAP TREATMENT REQUIRED AT ALL CULVERTS UPSTREAM AND DOWNSTREAM ENDS
- RIP-RAP TREATMENT ON UPSTREAM AND DOWNSTREAM ENDS SHALL TOTALLY SURROUND CULVERT TO A MINIMUM OF 12' ABOVE THE TOP OF THE PIPE
- SEE CHART FOR DIMENSIONS FOR D & W UNLESS OTHERWISE SHOWN ON THE DRAWINGS
- EROSION CONTROL BLANKETS OR OTHER MEANS FOR PROTECTION MAY BE USED WITH APPROVAL OF ENGINEER
- RIP-RAP WILL BE PAID FOR BY THE SQUARE YARD
- RIP-RAP DIMENSIONS SHOWN ON THE SCHEDULE ARE TYPICAL AND MAY BE ADJUSTED BY ENGINEER AT NO COST TO THE OWNER

CULVERT RIP-RAP OUTLET PROTECTION



DETAIL (DITCH CHECK)



ELEVATION DETAIL

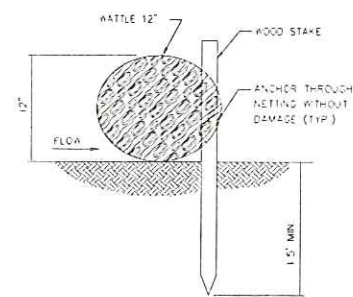
WATTLE DITCH CHECK

NOTES

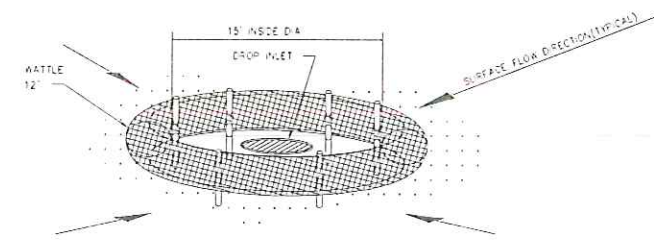
- MINIMUM RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLE DITCH CHECK IS 100 UNLESS SHOWN OTHERWISE ON THE PLANS OR EROSION CONTROL PLAN APPROVED BY THE ENGINEER. SEE SPACING GUIDANCE ON ECD-4
- ANCHORING WOOD STAKES SHALL BE SIZED, SPACED, DRIVEN, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE CHECK. STAKE SPACING SHALL BE A MAXIMUM OF THREE FEET. ALL NON-DEGRADABLE MATERIALS SHALL BE REMOVED WHEN NO LONGER NEEDED
- TRENCHING OF WATTLES MAY BE NECESSARY IF PILING BECOMES EVIDENT
- WATTLES SHOULD NOT BE USED IN HARD BOTTOM CHANNELS

WATTLE DITCH CHECK SELECTION GUIDELINES

WATTLE DITCH CHECKS ARE APPROPRIATE FOR VELOCITY REDUCTION AND CONTROL OF SEDIMENT TRANSPORT UNDER LOW TO MEDIUM FLOW CONDITIONS



WATTLE STAKING

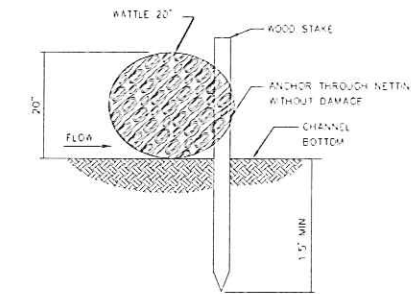


DROP INLET PROTECTION

NOTES

- ANCHORING STAKES SHALL BE SIZED, SPACED, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE WATTLE. STAKE SPACING SHALL BE A MAXIMUM OF THREE FEET
- OVERLAP ENDS OF WATTLES PER MANUFACTURERS RECOMMENDATIONS (1 MIN, 3 MAX)
- TRENCHING OF WATTLES MAY BE NECESSARY IF PILING BECOMES EVIDENT

WATTLE INLET PROTECTION



SECTION A-A

BENCHMARK ENGINEERING & SURVEYING, LLC
101 Highland Court, Suite K, Irvin, Mississippi 39242
Phone: 662-845-0077 Fax: 662-845-0711
www.benchmark-engineering.com

DATE: 10/22/23 DRAWN: GAB CHECKED: GAB SCALE: REF: C/A

PROJECT LOCATION: CALLAHAN STATION PARKWAY MADISON COUNTY, MISSISSIPPI

CLIENT: PEOPLES CONSTRUCTION CORPORATION 3913 UNDERWOOD DRIVE, LOWWOOD, MS 39232

PROJECT: CALLAWAY'S YARD & GARDEN CENTER

SHEET CONTENTS: EROSION CONTROL DETAILS

SHEET NUMBER: **C4.1**

PROJECT NUMBER: B-5029





